

Rochester-Olmsted Planning Department
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MAY 22 2015

GENERAL AREA SUMMARIES

LOT 1, BLOCK 1:

TOTAL LAND AREA: 6.41 ACRES
IMPERVIOUS: 3.83 ACRES (60%)
PERVIOUS: 2.58 ACRES (40%)

LOT 1, BLOCK 2:

TOTAL LAND AREA: 10.62 ACRES
IMPERVIOUS: 6.37 ACRES (60%)
PERVIOUS: 4.25 ACRES (40%)

28th STREET RIGHT-OF-WAY:

TOTAL LAND AREA: 1.73 ACRES
IMPERVIOUS: 1.41 ACRES (82%)
PERVIOUS: 0.32 ACRES (18%)

30th STREET RIGHT-OF-WAY:

TOTAL LAND AREA: 1.59 ACRES
IMPERVIOUS: 0.43 ACRES (27%)
PERVIOUS: 1.16 ACRES (73%)

KEYNOTES

- PUBLIC IMPROVEMENTS ASSOCIATED WITH EXTENSION OF 28TH STREET SE.
- PROPOSED DEDICATED WATER MAIN, STORM SEWER, SANITARY SEWER AND DRAINAGE EASEMENTS.

LEGEND

- GREEN SPACE (PERVIOUS)
- LIGHT POLE, TYPICAL, 29 TOTAL. SEE ELECTRICAL PLANS
- PARKING STALL COUNT
- ACCESSIBLE ROUTES THROUGHOUT DEVELOPMENT (NOT INCLUDING SIDEWALKS LEADING TO DOORWAYS WHICH ARE ALL ACCESSIBLE)
- ACCESSIBLE ANSI TYPE A UNIT

PROPOSED USE

- 2 MULTIFAMILY RESIDENTIAL LOTS
- 2 PRIVATE OUTLOTS
- 1 PUBLIC STREET
- 1 DEDICATED STREET RIGHT OF WAY

SEE LEGAL DESCRIPTION ON ACCOMPANYING SURVEY

PARKING SUMMARY

LOT 1, BLOCK 1:

20 UNIT BLDG SUMMARY
(4 X 20 UNIT BLDG)

- 2- STUDIO UNITS (8)
- 8-1 BDRM UNITS (32)
- 8-2 BDRM UNITS (32)
- 2-3-BDRM UNITS (8)

REQUIRED PARKING:

- 1 STALL PER STUDIO UNIT (8)
- 1 STALL PER 1 BDRM UNIT (32)
- 1.5 STALLS PER 2-BDRM UNIT (48)
- 2 STALLS PER 3-BDRM UNIT (16)
- 0.2 SPACES PER UNIT SPILLOVER (16)

TOTAL REQ'D PARKING: 120 STALLS

PROVIDED PARKING:

- GARAGE STALLS: 76 (ATTACHED AND DETACHED)
- SURFACE 9' x 17' PARKING STALLS: 72
- VAN ACCESSIBLE HANDICAP PARKING STALLS: 6

TOTAL PROVIDED PARKING: 154 STALLS

LOT 1, BLOCK 2:

20 UNIT BLDG SUMMARY
(5 X 20 UNIT BLDG)

- 2- STUDIO UNITS (10)
- 8-1 BDRM UNITS (40)
- 8-2 BDRM UNITS (40)
- 2-3-BDRM UNITS (10)

REQUIRED PARKING:

- 16 x 1 STALL PER STUDIO UNIT (16)
- 51 STALL PER 1 BDRM UNIT (52)
- 1.5 STALLS PER 2-BDRM UNIT (96)
- 2 STALLS PER 3-BDRM UNIT (32)
- 0.2 SPACES PER UNIT SPILLOVER (30)

TOTAL REQ'D PARKING: 226 STALLS

PROVIDED PARKING:

- GARAGE STALLS: 114 (ATTACHED AND DETACHED)
- SURFACE 9' x 17' PARKING STALLS: 138
- VAN ACCESSIBLE HANDICAP PARKING STALLS: 11

TOTAL PROVIDED PARKING: 263 STALLS

SITE CAPACITY CALCULATIONS

ZONING: R-3 MULTI-FAMILY RESIDENTIAL
2 STORY BUILDINGS

TOTAL PLATTED LAND AREA: 1,469,714 SF (33.74 Ac)
28th STREET ROW: - 75,379 SF (1.7 Ac)
30th STREET ROW: - 69,290 SF (1.6 Ac)

ADJUSTED TOTAL DEVELOPABLE LAND AREA:
1,325,045 SF (30.45Ac)

RESOURCE PROTECTION AREA:

FLOODWAY: -9,463 SF
FLOOD FRINGE: -593,261 SF
NET BUILDABLE AREA: 722,321 SF (16.58 Ac)

FLOOR AREA RATIO:

FAR PERMITTED: .61 = 440,616
FAR PROPOSED: .33 = 236,160

DENSITY CALCULATION:

PERMITTED: 402 UNITS (16.58 X 24.23)
PROPOSED: 228 UNITS

BUILDING SUMMARIES

9-20-UNIT BUILDING:

FIRST FLOOR: 8,700 SF*
SECOND FLOOR: 11,900 SF
TOTAL FLOOR AREA
5 x 20,600 = 103,000 SF*

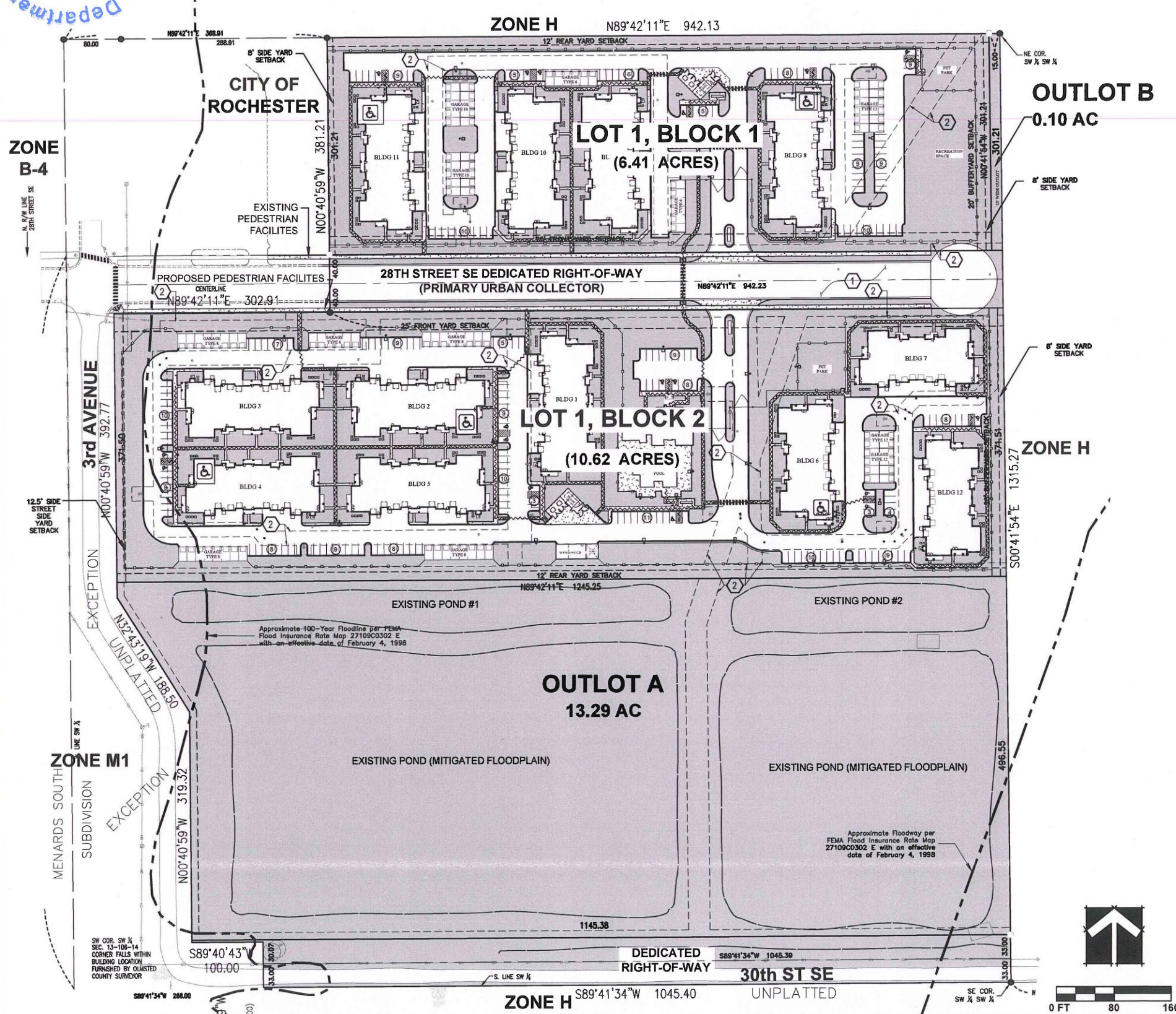
3-16-UNIT BUILDING:

FIRST FLOOR: 6,700 SF*
SECOND FLOOR: 10,220 SF
TOTAL FLOOR AREA
3 x 16,920 = 50,760 SF

TOTAL ALL RESIDENTIAL BUILDINGS FLOOR AREA: 236,160 SF*

*AREA DOES NOT INCLUDE GARAGE SPACE

PROPERTY LOCATION



Springs at South Broadway
Rochester, MN

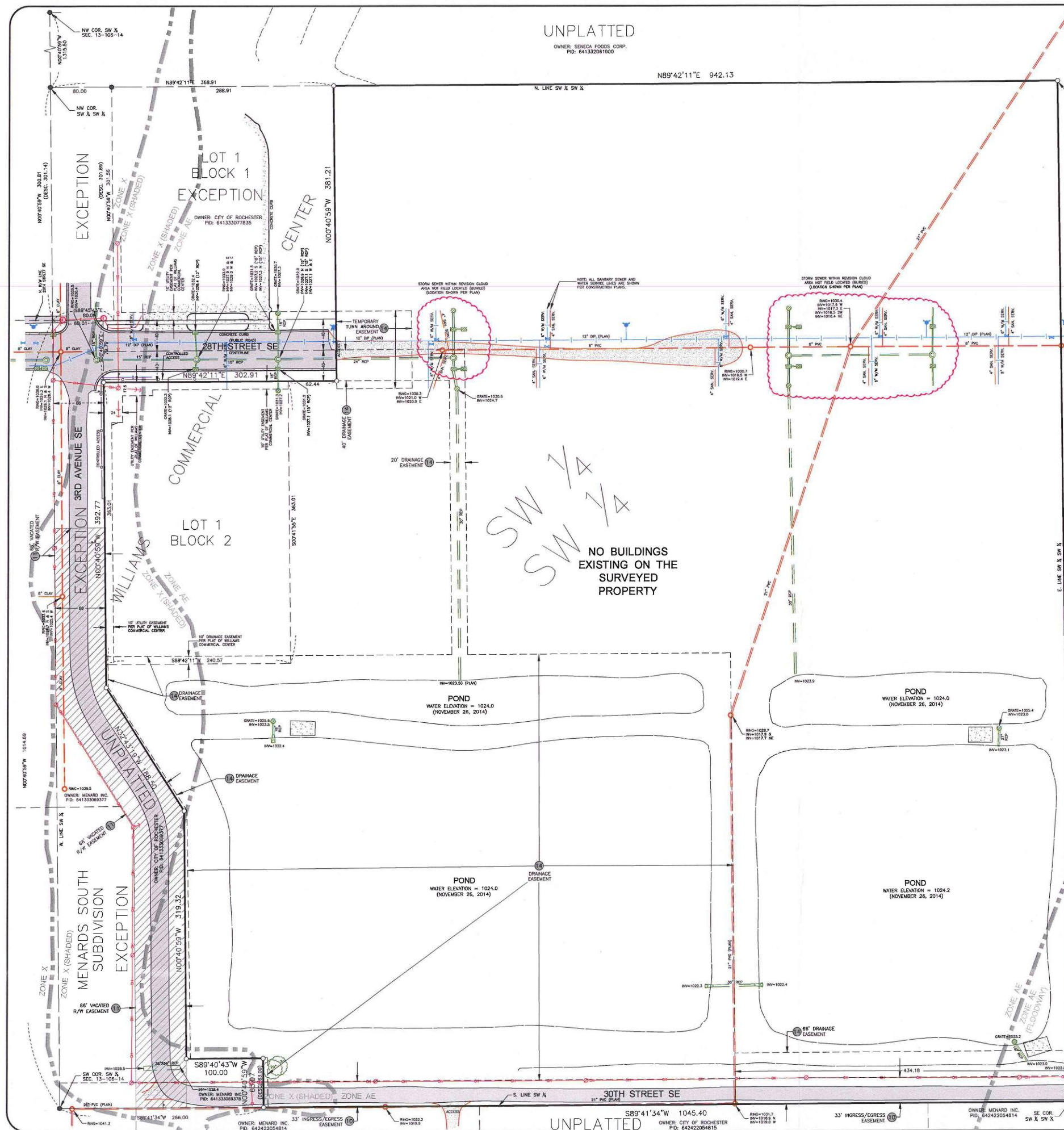
Site Development Plan

CONTINENTAL 126 FUND LEE
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CONTINENTAL PROPERTIES

Old Fellows Building
23 Second Street SW - Suite 200
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LEGEND

CATCH BASIN	STORM SEWER	ALL MONUMENTS SHOWN THIS: ARE FOUND IRON MONUMENTS UNLESS OTHERWISE NOTED.
STORM MANHOLE	SANITARY SEWER	ALL MONUMENTS SHOWN THIS: ARE 5/8" I.D. CAPED PIPES SET WITH LICENSE NO. 18887
FLARED END SECTION / APRON	UNDERGROUND GAS	
STORM AREA DRAIN	UNDERGROUND ELECTRIC	
SANITARY MANHOLE	OVERHEAD UTILITIES	
GATE VALVE	GRAVEL SURFACE	
HYDRANT	BITUMINOUS SURFACE	
UTILITY POLE	CONCRETE SURFACE	
GUY WIRE		
SIGN		
ELECTRIC MANHOLE	TREE (TYP.)	

PROPERTY DESCRIPTION

Parcel 1:
Southwest Quarter (SW1/4) Southwest Quarter (SW1/4), Section Thirteen (13), Town One Hundred Six (106), Range Fourteen (14), Olmsted County, Minnesota.

Parcel 2:
Lot 1, Block 2, Williams Commercial Center, Olmsted County, Minnesota.

SCHEDULE B - SECTION 2 EXCEPTIONS

Items 1-9, 12, 13 and 15 are not survey related, and therefore, are not shown on this survey.

10. The right of ingress to and egress from the NE1/4 of the NW1/4, Section 24, Town 106, Range 14, over the South 2 rds of the SW1/4, Section 13, Town 106, Range 14, and conditions related thereto, as granted in Warranty Deed dated November 6, 1969, recorded November 7, 1969, in Book 342 of Deeds, page 39, as Document No. 319755. (Surveyor's Note: This easement affects the subject property and is shown).

11. Matters arising from conditions set forth under Resolution dated September 3, 2003, as Document No. A-903048. (Surveyor's Note: This resolution vacates certain utility and drainage easements that do not fall within the subject property boundaries. It also vacates a portion of a 66.00 foot right of way easement that lies adjacent to the west line of the subject property and is shown).

12. Terms and conditions relating to the easements granted to the City of Rochester, a Minnesota municipal corporation, as set forth and contained in instrument dated May 1, 2007, recorded May 25, 2007, as Document No. A-1135646. (Surveyor's Note: These easements affect the subject property and are shown).

13. There are various easements that were dedicated and shown on the recorded plat of WILLIAMS COMMERCIAL CENTER. These easements are not mentioned in the list of Schedule B-Section 2 Exceptions, but are presumed to exist and are shown on this survey.

TABLE A ITEMS

Table A Items 1, 5, 8, 11(a), 11(b), 13, 14, 19 and 20(a) are as shown on survey.

2.	Property address: 305 28th Street SE, Rochester, MN
3.	Sold described property is located within "Zone X (Shaded)" and "Zone AE" as determined by the FEMA Flood Insurance Rate Map 27109C0302 E with an effective date of February 4, 1998. "Zone X (Shaded)" areas are determined to be areas of 500-year flood. "Zone AE" areas are special flood hazard areas inundated by 100-year flood.
4.	The area of the property described above is 1,469,852 square feet (33.74 acres), as surveyed.
6.	(b). No zoning or setback information was provided by the client, and therefore, is not shown.
7.	(a), (b)(1) and (c). The subject property contains no buildings.
9.	The total number of visible striped parking spaces as presently marked on the subject property is 0.
10.	(a). The subject property contains no buildings.
16.	No visible evidence of current earth moving work, building construction or building additions within the subject property boundaries.
17.	No known changes in street right of way lines.
18.	No observed evidence of site use as a solid waste dump, sump or sanitary landfill.
21.	McGhie & Betts, a Division of WSB & Associates, Inc. has a Professional Liability Insurance Policy of at least \$2,000,000.

GENERAL NOTES

(GN1) Location and sizes of underground utilities shown are approximate only and are shown based on field location of visible fixtures in combination with available data provided by various sources. Some underground utility locations are shown as marked on site by those utility companies whose locators responded to our Gopher State One Call, ticket number 143240709. McGhie & Betts makes no guarantee that the utilities shown comprise all such utilities in the area nor that they are in the exact location indicated. Verify all utilities critical to construction or design. Contact Gopher State One-Call at 1-800-252-1166 for on-site location of utilities prior to any excavation.

(GN2) The plat of WILLIAMS COMMERCIAL CENTER was recorded on August 13, 2007 as Document No. A-1144009.

(GN3) Easements shown are as identified in First American Title Insurance Company Commitment No. NCS-680205-MKE with an effective date of July 18, 2014, and as shown on the recorded plat of WILLIAMS COMMERCIAL CENTER. No other search of the public records for easements or encumbrances was made by the undersigned.

SURVEYOR'S CERTIFICATION

To Continental Properties Company, Inc., a Minnesota corporation; Continental 326 Fund LLC, a Minnesota limited liability company; and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 6(b), 7(c), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 13, 14 and 16-19, 20(a) and 21 of Table A thereof. The field work was completed on December 16, 2014.

Dated this ____ day of ____, 2014.

Mark E. Severson, PS, Minnesota License No. 18887

PROPERTY LOCATION MAP

ELEVATION = 1053.43 (NAVD 83)

MNDOT STATION GEMINI AT SE CORNER OF INTERSECTION TH 63 AND 28TH STREET SE

BENCHMARK

McGhie & Betts
1648 Third Avenue S.E.
Rochester, MN 55904

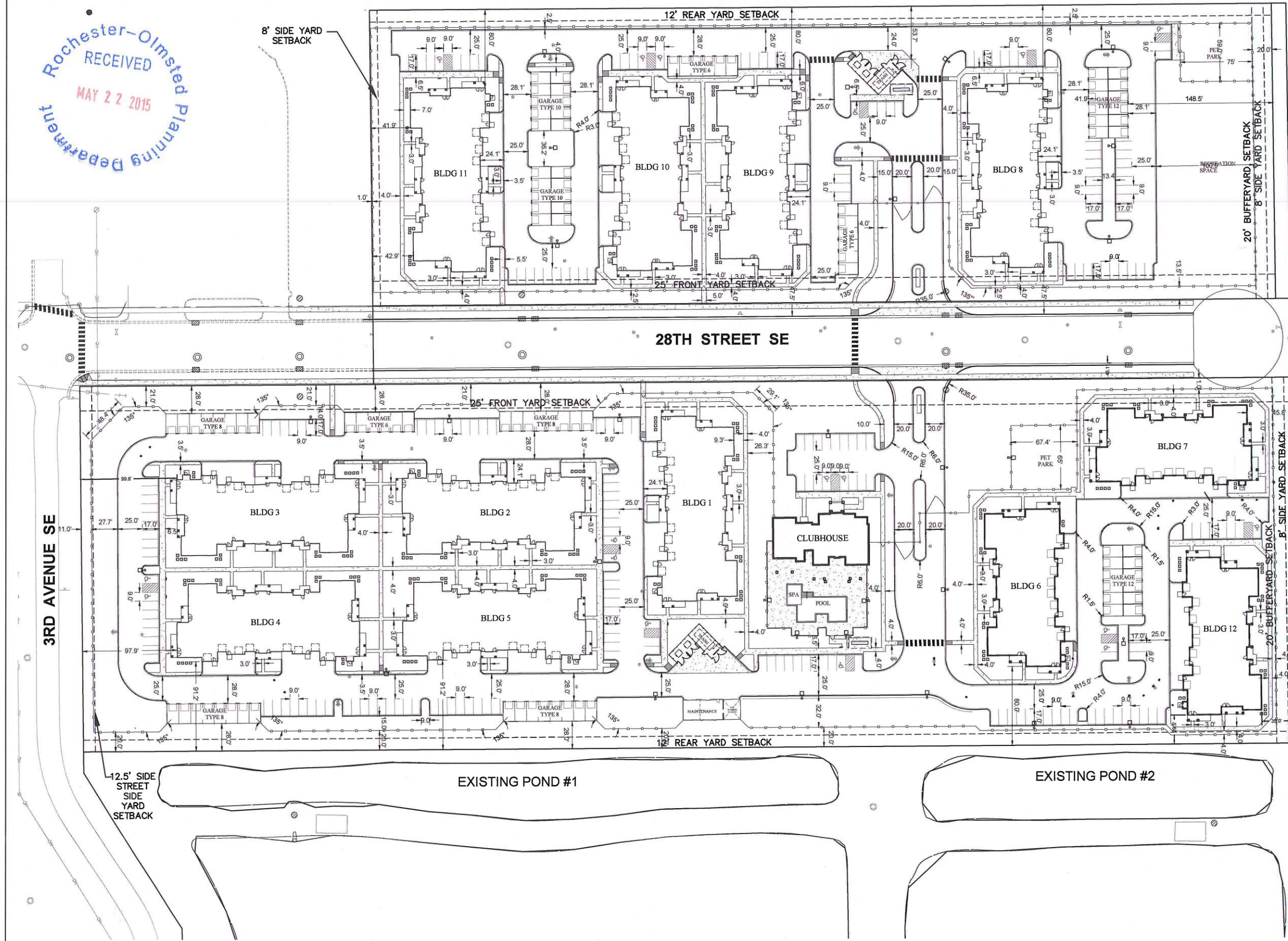
Telephone: 507-289-3919
Fax: 507-289-7333
Email: mbi@mcghebetts.com

ALTA/ACSM LAND TITLE SURVEY
LOT 1, BLOCK 2, WILLIAMS COMMERCIAL CENTER
AND
PART OF SW 1/4 SW 1/4 SEC. 13-106-14
OLMSTED COUNTY, MINNESOTA

Client: CONTINENTAL PROPERTIES COMPANY, INC.
Job No. 02551-010
Surveyed By: M.E.S.
Drawn By: J.B.
Scale: 1" = 50'
Date: 12/26/14

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GENERAL NOTES

1. ALL TYPICAL PARKING STALLS DIMENSION ARE 9' X 17'.
2. ALL HANDICAPPED PARKING IS VAN ACCESSIBLE WITH A STALL DIMENSION OF 9' X 17' WITH AN ADJACENT STRIPPED ACCESS ROUTE OF THE SAME DIMENSION.
3. ALL TWO WAY DRIVE AISLE ARE 25' IN WIDTH MINIMUM.
4. SEE SHEET SDP-LP FOR SITE CAPACITY CALCULATIONS AND BOUNDARY DIMENSIONS
5. SEE SHEET CG100 FOR GRADING AND DRAINAGE PLAN LAYOUT INCLUDING UTILITY EASEMENT LOCATIONS.
6. SEE SHEET LS100 FOR LANDSCAPE PLAN WHICH NOTES BOULEVARD TREE AND AND BUFFERYARD LOCATIONS.

LEGEND

- WATER MAIN PIPE.
- SANITARY SEWER PIPE.
- MANHOLE STRUCTURE
- CLEANOUT
- ♿ HANDICAP PARKING LOCATION
- CATCH BASIN
- 5" WROUGHT IRON FENCING
- LIGHT FIXTURE
- ▨ CONCRETE SIDEWALK
- ▨ PEDESTRIAN CROSSING AND ACCESSIBLE ROUTE



0 FT 50 100

Springs at South Broadway
Rochester, MN
Layout Plan

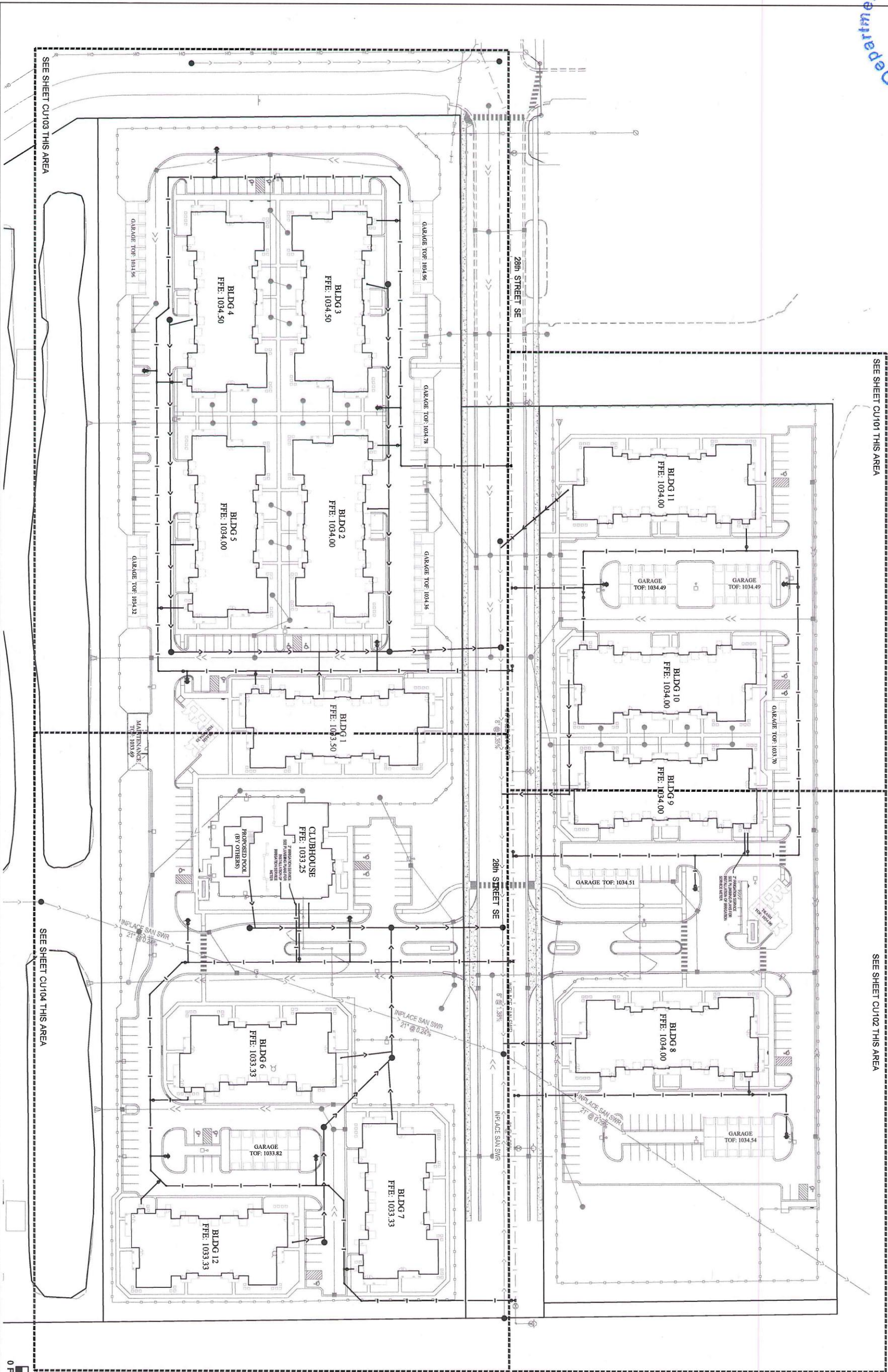
CONTINENTAL 256 FUND LLC
An affiliate of
CONTINENTAL PROPERTIES

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LEGEND

- WATER MAIN PIPE.
- SANITARY SEWER PIPE.
- MANHOLE STRUCTURE, SEE 1/04501.
- CLEANOUT, SEE 1/03502.

NOTE ABOUT CITY/OWNER CONTRACT WORK

ALL COSTS ASSOCIATED WITH PROPOSED 8-INCH WATER MAIN, HYDRANTS, 6-INCH HYDRANT LEADS AND ALL ASSOCIATED APPURTENANCES WITHIN THE PROJECT SHALL BE ITEMIZED SEPARATELY ON BIDS FOR REFERENCE FOR PUBLIC IMPROVEMENTS.

GENERAL NOTES

- SEE SHEETS C/001 FOR GENERAL CIVIL NOTES. SEE SHEETS CU101-CU104 FOR UTILITY NOTES
- SEE SHEET CD101 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET CP101 FOR UTILITIES ASSOCIATED WITH 28th STREET RIGHT OF WAY.

Springs at South Broadway Rochester, MN Utility Plan - Overall

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JANELE M. TAVEGGIA
DATE: MAY 18, 2015 LIC. NO. 41978

AS NOTED	
PLAN BY:	DESIGN BY:
MRSBWWF/JMPTA	MRSBWWF/JMPTA
CHECKED BY:	PROJECT NO.
MRS	02551-000
RECORD COPY BY:	DATE

REVISION NO.	EXPLANATION
DATE	

CONTINENTAL 326 PINTD LLC
An affiliate of
CONTINENTAL PROPERTIES
WSB 326175 Executive Parkway
Minnetonka, MN 55305
Phone: 952-835-1000 Fax: 952-835-1022
Email: info@springproperties.com

Odd Fellows Building
23 Second Street SW - Suite 200
Rochester, MN 55902
Tel: (507) 218-3745 Fax: (507) 289-7333
wsbeng.com



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CU100

CONTINENTAL 326 FUND ADDITION

LEGEND

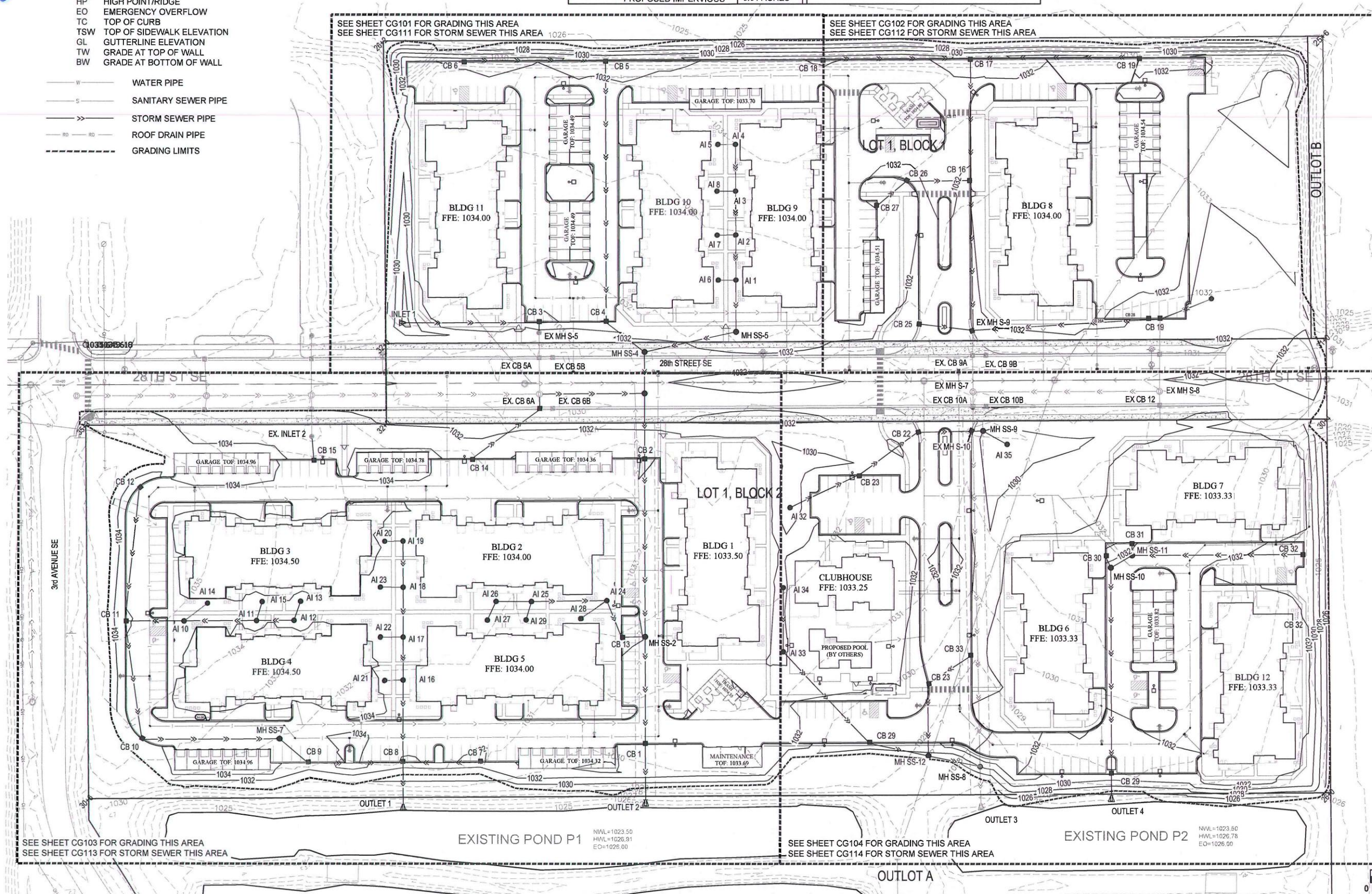
-
- | | |
|--|---------------------------|
| | PROPOSED CONTOUR |
| | EXISTING CONTOUR |
| | PROPOSED SPOT ELEVATION |
| | EXISTING SPOT ELEVATION |
| | HIGH POINT/RIDGE |
| | EMERGENCY OVERFLOW |
| | TOP OF CURB |
| | TOP OF SIDEWALK ELEVATION |
| | GUTTERLINE ELEVATION |
| | GRADE AT TOP OF WALL |
| | GRADE AT BOTTOM OF WALL |
| | WATER PIPE |
| | SANITARY SEWER PIPE |
| | STORM SEWER PIPE |
| | ROOT DRAIN PIPE |
| | GRADING LIMITS |

TABULATION OF PROJECT AREAS	
TOTAL PROJECT AREA	17.13 ACRES
EXISTING IMPERVIOUS AREA OF PROJECT	0.00 ACRES
PROPOSED IMPERVIOUS AREA OF PROJECT	11.23 ACRES

TABULATION OF PROJECT AREAS (BY LOT)					
TOTAL AREA LOT 1, BLOCK 1		6.41 ACRES	TOTAL AREA OUTLOT A, BLOCK 1		0.10 ACRES
EXISTING IMPERVIOUS		0.00 ACRES	EXISTING IMPERVIOUS		0.00 ACRES
PROPOSED IMPERVIOUS		3.79 ACRES	PROPOSED IMPERVIOUS		0.00 ACRES
TOTAL AREA LOT 1, BLOCK 2		10.62 ACRES	TOTAL AREA OUTLOT A, BLOCK 2		13.29 ACRES
EXISTING IMPERVIOUS		0.00 ACRES	EXISTING PONDS/LAKES		9.92 ACRES
PROPOSED IMPERVIOUS		6.53 ACRES			
TOTAL AREA 28th ST R.O.W.		1.73 ACRES			
EXISTING IMPERVIOUS		0.00 ACRES			
PROPOSED IMPERVIOUS		0.91 ACRES			

EARTHWORK	
RAW CUT	6,825 CY
RAW FILL	31,763 CY
NET CUT	24,938 CY

THIS IS AN ENGINEER'S ESTIMATE AND DOES NOT INCLUDE HOLD DOWNS OR ANY REQUIRED SOIL CORRECTION. CONTRACTOR RESPONSIBLE FOR VERIFYING ACTUAL REQUIRED EARTHWORK FOR SITE



**Springs at South Broadway
Rochester, MN**

Grading & Drainage Plan-Overall

CONTINENTAL, 326 FUND LLC
An affiliate of
CONTINENTAL PROPERTIES

Odd Fellows Building
23 Second Street SW - Suite 200
Rochester, MN 55902
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Department of Planning & Community Development

PLANT SCHEDULE

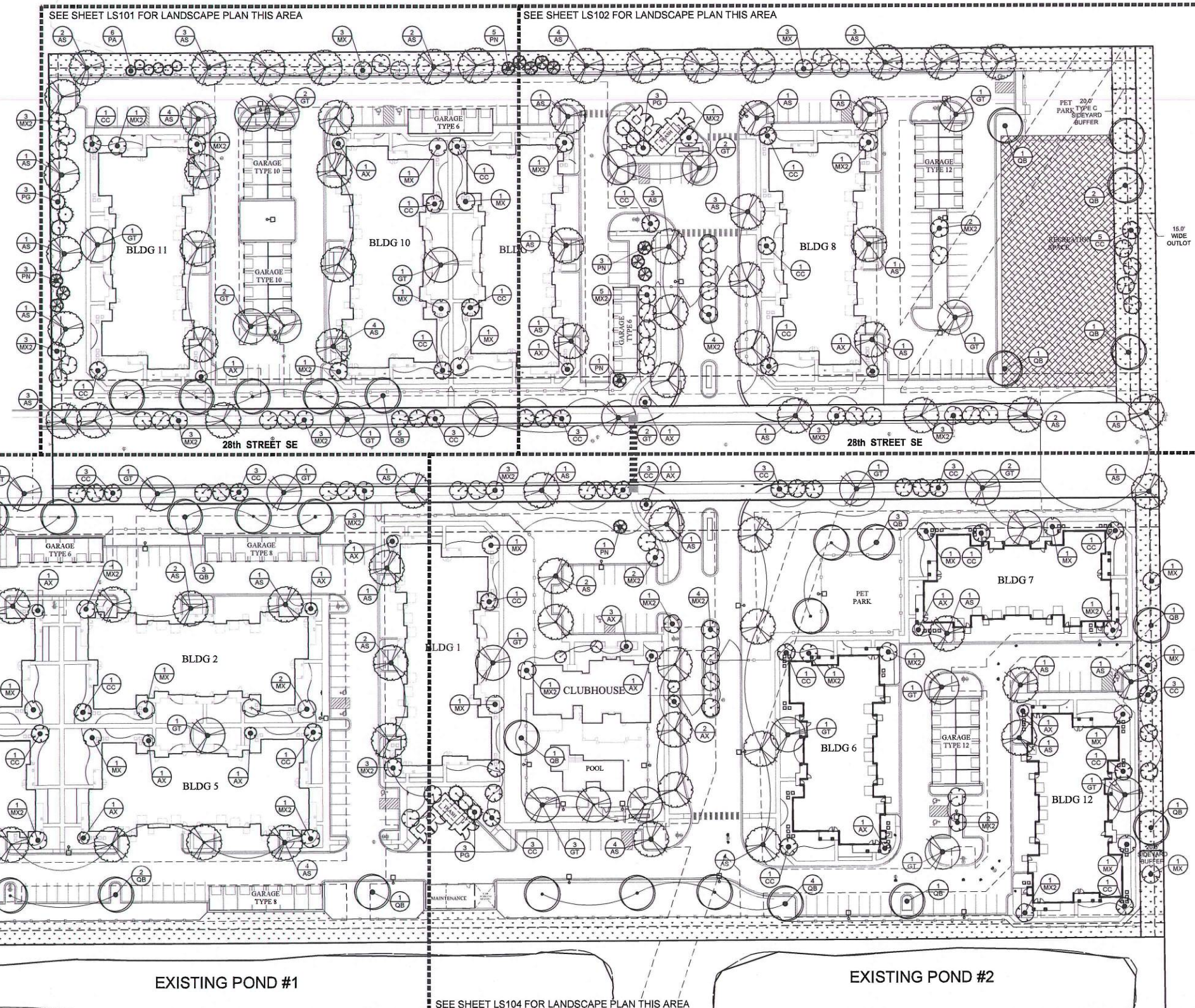
DECIDUOUS TREES		BOTANICAL NAME / COMMON NAME	CONT	QTY
AS	2 1/2" Cal B&B	Acer saccharum 'Ballista' TM / Fall Fiesta Sugar Maple	83	
GT	2 1/2" Cal B&B	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	29	
QB	2 1/2" Cal B&B	Quercus bicolor / Swamp White Oak	35	
EVERGREEN TREES		BOTANICAL NAME / COMMON NAME	CONT	QTY
PA	25 gal	Picea abies 'Acrocona' / Norway Spruce	6	
PG	8" B&B	Picea glauca 'Densata' / Black Hills Spruce	12	
PN	8" B&B	Pinus nigra / Austrian Black Pine	18	
FLOWERING TREES		BOTANICAL NAME / COMMON NAME	CONT	QTY
AX	1" Cal B&B	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	21	
CC	1 1/2" Cal B&B	Crataegus crus-galli inermis TM / Thornless Cockspur Hawthorn	55	
MX2	1 1/2" Cal B&B	Malus x 'Prairifire' / Prairifire Crab Apple	74	
MX	1 1/2" Cal B&B	Malus x 'Profusion' / Profusion Crab Apple	28	
SHRUBS		BOTANICAL NAME / COMMON NAME	SIZE	QTY
HA	5 gal	Hydrangea arborescens 'Incrediball' / Incrediball White Hydrangea	376	
HP	5 gal	Hydrangea paniculata 'Little Lamb' / Hardy Hydrangea	180	
JX	5 gal	Juniperus x pfitzeriana 'Sea of Gold' / Sea of Gold Juniper	327	
PO	5 gal	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	49	
RT	5 gal	Rhus typhina 'Baltiger' TM / Tiger Eyes Sumac	76	
RX2	5 gal	Rosa x 'Flower Carpet Scarlet' / Flower Carpet Scarlet Rose	359	
RX	5 gal	Rosa x 'Knockout' TM / Rose	409	
TO2	5 gal	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	85	
TO	5 gal	Thuja occidentalis 'Little Giant' / Little Giant Arborvitae	56	
WF	5 gal	Weigela florida 'Java Red' / Java Red Weigela	87	
WF2	5 gal	Weigela florida 'Tango' / Tango Weigela	153	
ANNUAL/PERENNIALS		BOTANICAL NAME / COMMON NAME	SIZE	QTY
AD	1 gal	Antennaria dioica / Common Pussy-toes	284	
CX	1 gal	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	914	
GX	1 gal	Geranium x 'Johnson's Blue' / Johnson's Blue Geranium	420	
HX	1 gal	Heemerocallis x 'Happy Returns' / Happy Returns Daylily	747	
HX2	1 gal	Heemerocallis x 'Pardon Me' / Pardon Me Daylily	691	
HX4	1 gal	Heuchera x 'Caramel' / Caramel Coral Bells	538	
HX3	1 gal	Hosta x 'Earth Angel' / Earth Angel Hosta	321	
PV2	1 gal	Panicum virgatum 'North Wind' / Northwind Switch Grass	433	
PV	1 gal	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass	290	
PX	1 gal	Penstemon x 'Dark Towers' / Dark Towers Penstemon	35	
RF	1 gal	Rudbeckia fulgida speciosa 'Vitte's Little Suzy' / Coneflower	257	
SN	1 gal	Salvia nemorosa 'Caradonna' / Caradonna Perennial Salvia	418	
SH	1 gal	Sporobolus heterolepis / Prairie Dropseed	339	
SB	1 gal	Stachys byzantina 'Helene von Stein' / Helene von Stein Lamb's Ear	151	

LANDSCAPE REQUIREMENTS

- (1) BOULEVARD TREE PER 35 LF OF FRONTAGE ON 28TH STREET SE. NORTH SIDE - 942.25'; 27 TREES REQUIRED. 28 TREES PROVIDED. PROVIDED TREES CONTAIN THE FOLLOWING VARIETIES: FALL FIESTA SUGAR MAPLE, IMPERIAL HONEYLOCUST, THORNLESS HAWTHORN, PRAIRIFIRE CRABAPPLE SOUTH SIDE - 1245.15'; 36 TREES REQUIRED. 36 TREES PROVIDED. PROVIDED TREES CONTAIN THE FOLLOWING VARIETIES: FALL FIESTA SUGAR MAPLE, IMPERIAL HONEYLOCUST, THORNLESS HAWTHORN, PRAIRIFIRE CRABAPPLE
- 20' BUFFERYARD ON EAST LOT LINE OF SITE:
NORTH SIDE - 301.21' REQ'D ITEMS: 1 CANOPY TREE, 4 UNDERSTORY TREES, AND 6 SHRUBS.
NORTH SIDE - PROVIDED ITEMS: 3 CANOPY TREES, 5 UNDERSTORY TREES, AND 10 SHRUBS.
SOUTH SIDE - 371.51' REQ'D ITEMS: 1 CANOPY TREE, 5 UNDERSTORY TREES, AND 8 SHRUBS.
SOUTH SIDE - PROVIDED ITEMS: 2 CANOPY TREES, 6 UNDERSTORY TREES, AND 10 SHRUBS.

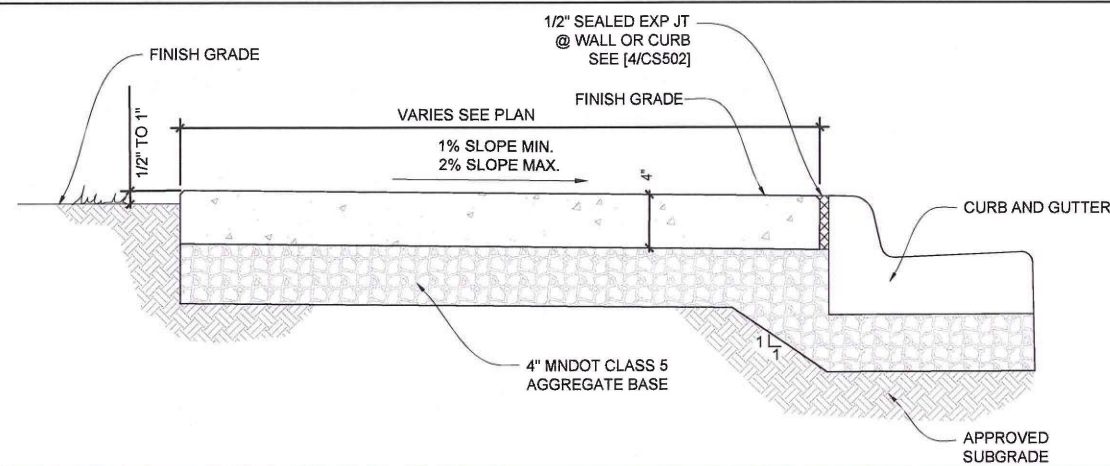
GENERAL LANDSCAPE NOTES

- SEE SHEET CJ001 FOR GENERAL CIVIL NOTES.
- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING. THE LANDSCAPE CONTRACTOR SHALL COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE NOTED. SOD SHALL BE STAKED ON SLOPES 4H:1V OR STEEPER.
- PROVIDE THREE-INCH (3") DEPTH DOUBLE SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS. CONTRACTOR TO PROVIDE GRANULAR WEED PREVENTION IN MULCH BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- USE STEEL EDGING IN ALL PLANTING BEDS. COLOR: BLACK
- LANDSCAPE CONTRACTOR IS TO COORDINATE WITH GENERAL TO ENSURE DESIGN GRADES ARE MET AS SPECIFIED ON THE GRADING AND DRAINAGE PLAN.
- THE LANDSCAPE CONTRACTOR IS TO FOLLOW ALL LANDSCAPE DETAILS AS SHOWN UNLESS OTHERWISE NOTED ON PLANS.





Springs at South Broadway
Rochester, MN
Landscape Plan - Overall

CONTINENTAL 326 PIANO LLC
An affiliate of
CONTINENTAL PROPERTIES
22 Second Street SW - Suite 200
Rochester, MN 55902
Tel: (507) 216-7142 Fax: (507) 280-7333
www.continental-326.com
WSB
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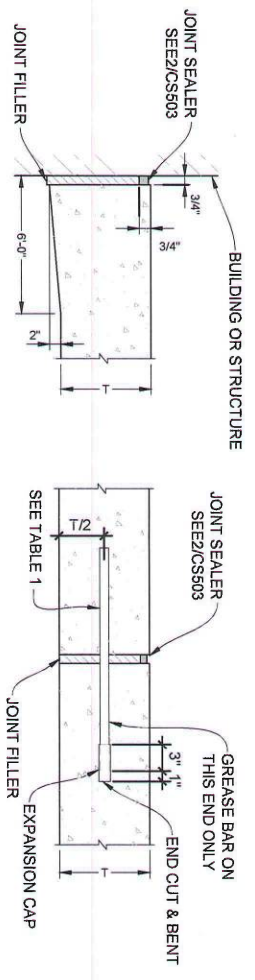
9 PRECAST CONCRETE WHEEL STOP
CS501 SCALE: NO SCALE

 <p>WSB & Associates, Inc. Civil & Structural Engineering 23 Second Street SW, Suite 200 Rochester, MN 55902 Tel: (507) 216-5745 Fax: (507) 288-7333 www.wsb-inc.com</p>	<p>CONTINENTAL 326 FIBER LLC An affiliate of  CONTINENTAL PROPERTIES</p>		<p>I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.</p>		<p>REVISION NO. DATE</p>
	<p>SCALE</p>		<p>AS NOTED</p>		<p>EXPLANATION</p>
	<p>PLAN BY: MRSBWWF/JMPTA</p>		<p>DESIGN BY: MRSBWWF/JMPTA</p>		
	<p>CHECKED BY: MRS</p>		<p>PROJECT NO. 02561-000</p>		
<p>DATE: MAY 18, 2015</p>		<p>US. NO. 41978</p>		<p>RECORD COPY 6/1</p>	

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TABLE 1: DOWEL SIZING CHART			
PAVEMENT THICKNESS (in)	MAXIMUM DOWEL SPACING	MINIMUM DOWEL LENGTH	MINIMUM DOWEL DIAMETER
LESS THAN 8	12"	16"	0.75"
8 TO 11	12"	16"	1"
12 TO 15	15"	20"	1.25"

TABLE 2: JOINT SPACING		
CONCRETE PAVEMENT THICKNESS	MAXIMUM JOINT SPACING	
6"	12'	
8"	16'	
10" OR GREATER	20'	

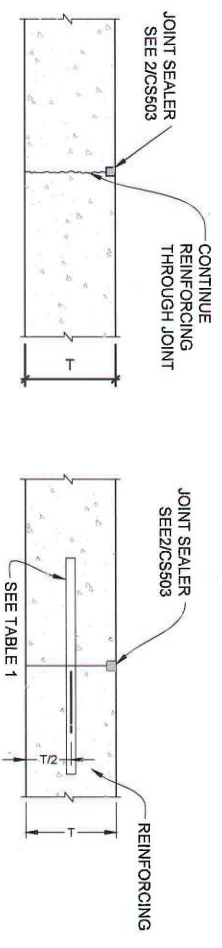


EXPANSION JOINT AT STRUCTURES

USE AGAINST BUILDINGS OR OTHER STRUCTURES

EXPANSION JOINT

PLACE EVERY 3RD CONTRACTION JOINT.



CONTRACTION JOINT

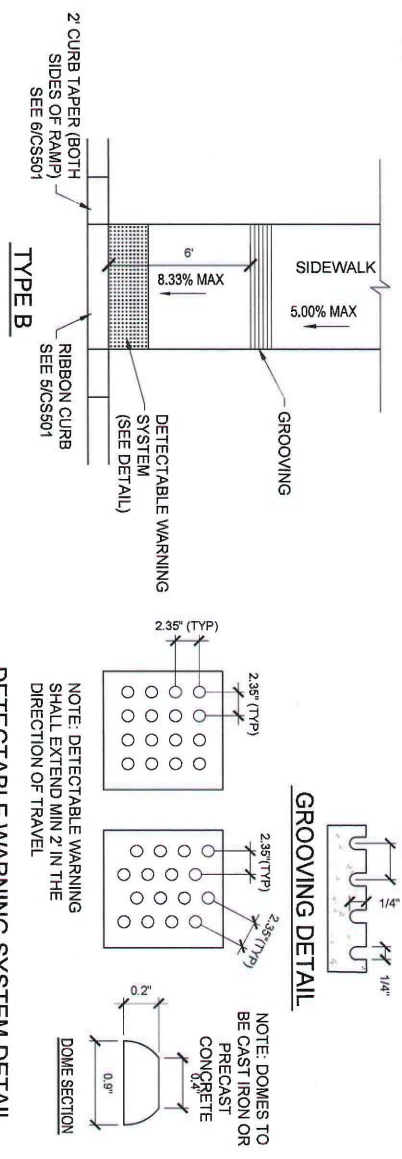
MAX. CONTRACTION JOINT SPACING: SEE TABLE 2

DOWELED CONSTRUCTION JOINT

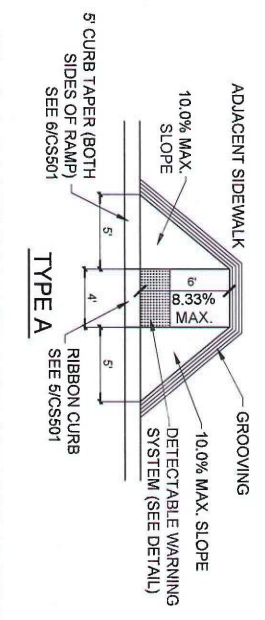
USE WHERE CONCRETE PLACEMENT OPERATIONS STOP FOR MORE THAN 30 MINUTES, END FOR THE DAY, OR WHERE CAST AGAINST PREVIOUSLY PLACED OR EXISTING CONCRETE.

1 CONCRETE PAVEMENT JOINTS

CS503 SCALE: NO SCALE

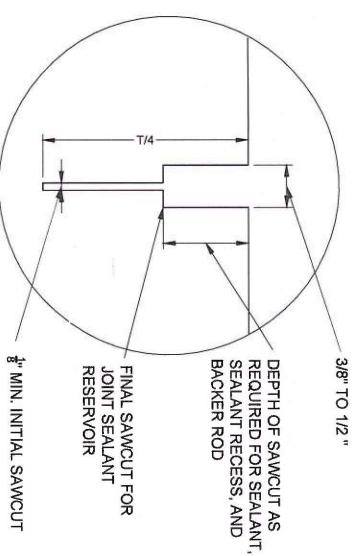
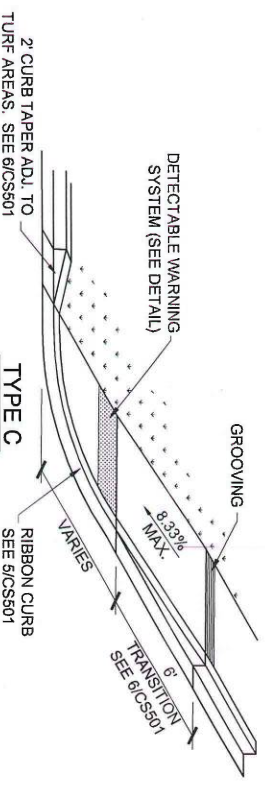


DETECTABLE WARNING SYSTEM DETAIL



3 ACCESSIBLE SIDEWALK RAMP DETAIL

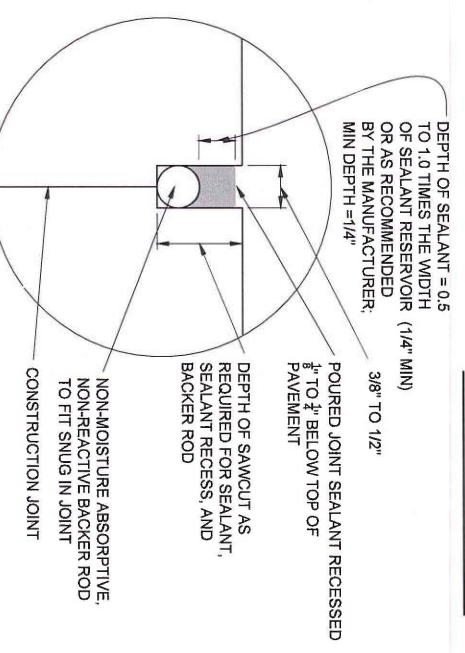
CS503 SCALE: NO SCALE



SAWCUT

T = PAVEMENT THICKNESS

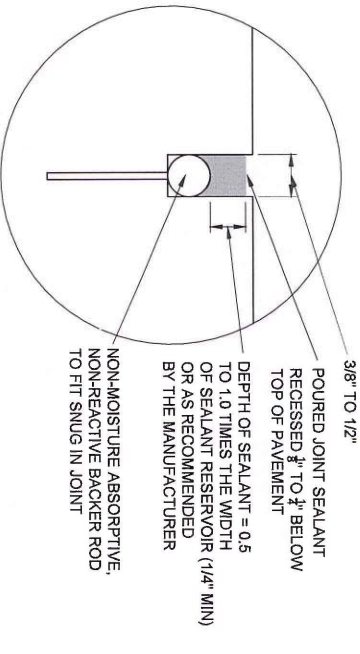
CONTRACTION JOINT



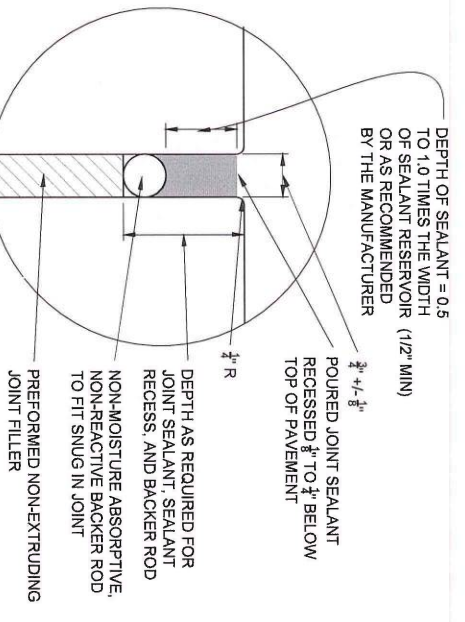
COMPLETED CONSTRUCTION JOINT

2 JOINT SEALANTS

CS503 SCALE: NO SCALE



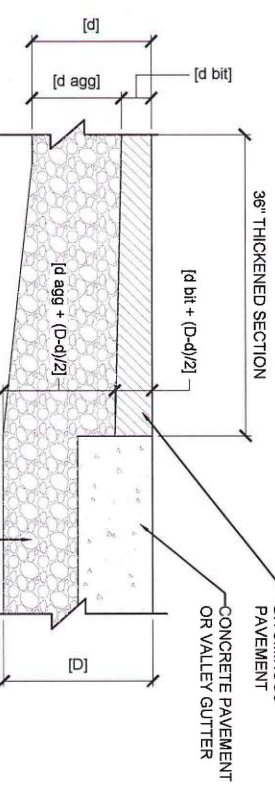
COMPLETED SEALANT DETAIL



COMPLETED EXPANSION JOINT

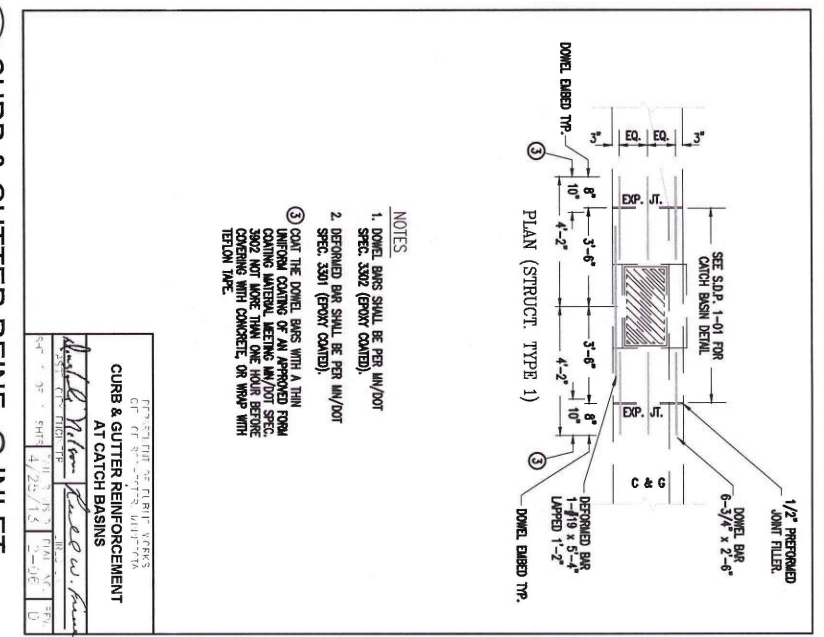
4 NOT USED

CS503 SCALE: NO SCALE



5 THICKENED BITUMINOUS AT CONCRETE

CS503 SCALE: NO SCALE



6 CURB & GUTTER REINFORC. @ INLET

CS503 SCALE: NO SCALE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

JANELE M. TAVEGGIA

DATE: MAY 18, 2015 LIC NO: 41978

AS NOTED

PLAN BY: MRSBWW/PJMP/TA
DESIGN BY: MRSBWW/PJMP/TA
CHECKED BY: MRS
PROJECT NO: 02551-000
RECORD COPY BY: DATE

REVISION NO	DATE	EXPLANATION

A technical diagram of a standard gate. It shows a rectangular gate with vertical slats. The height is labeled as 60 INCHES HIGH. The width is labeled as VERIFY IN FIELD. The gate is shown in a partially open position, revealing the internal mechanism. The components are labeled as follows:

- 60 INCHES HIGH
- VERIFY IN FIELD
- Gate
- Gate Post
- Gate Latch
- Gate Hinge
- Gate Stop
- Gate Bolt
- Gate Lock
- Gate Handle
- Gate Key
- Gate Chain
- Gate Cable
- Gate Spring
- Gate Roller
- Gate Guide
- Gate Seal
- Gate Weatherstripping
- Gate Insulation
- Gate Finishing
- Gate Hardware
- Gate Accessories
- Gate Options
- Gate Features
- Gate Details
- Gate Notes
- Gate Specifications
- Gate Materials
- Gate Construction
- Gate Installation
- Gate Maintenance
- Gate Troubleshooting
- Gate Safety
- Gate Warranty
- Gate Support
- Gate Contact
- Gate Information
- Gate Instructions
- Gate Manual
- Gate Documentation
- Gate Records
- Gate Logs
- Gate Reports
- Gate Forms
- Gate Templates
- Gate Software
- Gate Hardware
- Gate Accessories
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- Gate Support
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- Gate Information
- Gate Instructions
- Gate Manual
- Gate Documentation
- Gate Records
- Gate Logs
- Gate Reports
- Gate Forms
- Gate Templates
- Gate Software

Technical drawing of a wire mesh fence assembly, showing components and dimensions:

- ROUND END & CORNER POST
- LINE POST CAP
- FABRIC (TYPE/SIZE) TOP SELVAGE FOLDED
- RAIL TIE
- TOP RAIL 1.66" [42.2MM] (1 5/8" OD)
- WIRE TIE
- HOG RING
- TENSION BAR
- LINE POST (ROUND OR "C")
- TENSION WIRE
- BOTTOM SELVAGE KNUCKLED
- 10'-0" MAX SPACING

1'-10"

1"

1'-8"

1"

7'-0"

6'-8"

CAST STONE WALL PYRAMID WALL CAP W/ DRIP - SET ON MORTAR BED AND ANCHOR TO DOWEL PIN

BRICK VENEER

12"x12" CMU PIER BLOCK W/ (1) #5 AT EACH CORNER W/ STANDARD HOOK & LAP - GROUT CORE SOLID

FINISH GRADE

4'-0" MIN

3'-0"

1'-0"

REINFORCED CONCRETE FOOTING W/ (3) #5 BARS EACH WAY ON COMPACTED SUBGRADE BELOW FOOTING

1'-10"

1"

1'-8"

6'-8"

CAST STONE WALL PYRAMID WALL CAP W/ DRIP - SET ON MORTAR BED AND ANCHOR TO DOWEL PIN

BRICK VENEER

12"x12" CMU PIER BLOCK W/ (1) #5 AT EACH CORNER W/ STANDARD HOOK & LAP - GROUT CORE SOLID

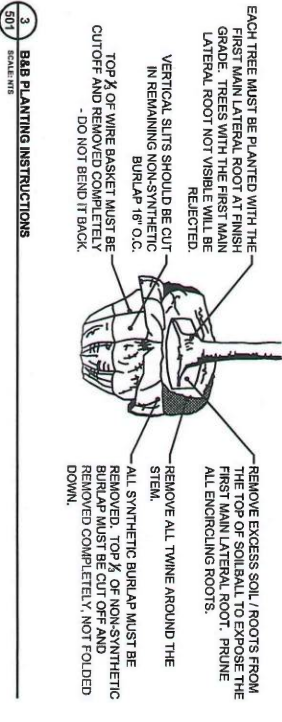
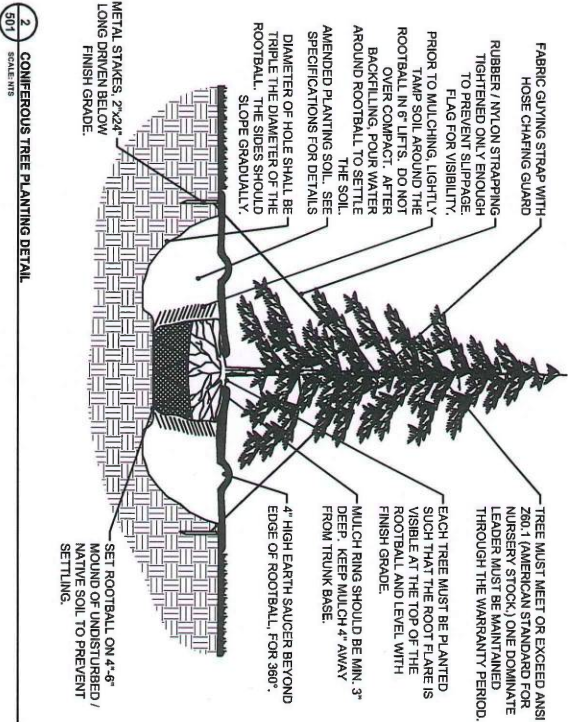
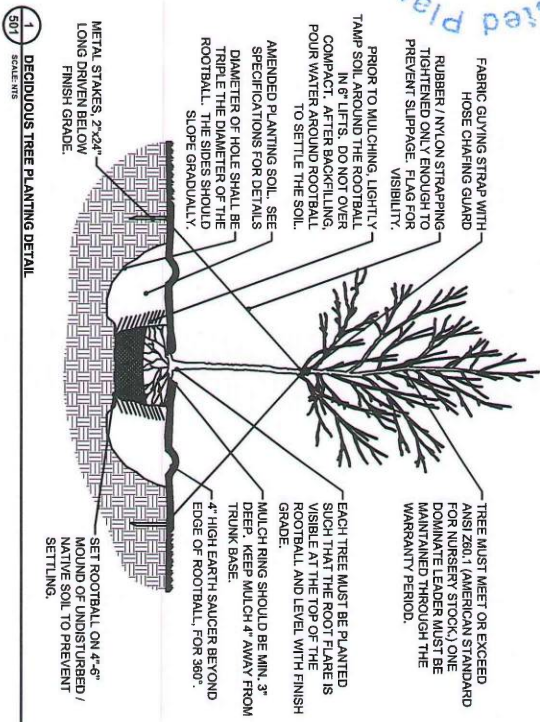
FINISH GRADE

REINFORCED CONCRETE FOOTING W/ (3) #5 BARS EACH WAY ON COMPACTED SUBGRADE BELOW FOOTING

Diagram illustrating the components and dimensions of a vehicle gate system:

- Gate Structure:** A large rectangular gate with vertical bars, labeled "PREFINISHED VEHICLE GATE COLOR: BLACK".
- Dimensions:**
 - Top horizontal dimension: "VERIFY IN FIELD" (spanning the width of the gate).
 - Bottom horizontal dimension: "VERIFY IN FIELD" (spanning the width of the gate).
 - Left vertical dimension: "5'-0\" (from the ground to the top of the gate).
 - Right vertical dimension: "5'-0\" (from the ground to the top of the gate).
 - Side dimensions (left and right): "1'-8\" (from the gate edge to the outer wall).
- Components:**
 - SWING GATE OPERATOR:** Located on the secure side of the gate, labeled "SWING GATE OPERATOR - LOCATE ON SECURE SIDE OF GATE *VERIFY WITH OWNER LOCATION OF GATES THAT REQUIRE SWING GATE OPERATOR".

SHEET
CS504



- PLANTING NOTES:
- PLANTING BEDS SHALL BE PREPARED IN THE FOLLOWING MANNER:
 - REMOVE ALL EXISTING VEGETATION AND GROUND COVER. TREES SHALL HAVE THE STUMPS REMOVED OR GROUND DOWN.
 - SPRAY THE PLANTING BED AREA WITH ROUND-UP DURING WARM, DRY WEATHER. LET IT SIT FOR A MINIMUM OF TWO WEEKS AND THEN THOROUGHLY REMOVE ALL REMAINING GROUND COVER VEGETATION AND ROOT SYSTEMS.
 - ROTOTILL THE PLANTING BED TO LOOSEN UP THE SOIL. RAKE SMOOTH WHEN DONE AND REMOVE ALL ROCKS AND DEBRIS ENCOUNTERED.
 - INSTALL LANDSCAPE EDGING TO DELINEATE PLANTING BED FROM TURF AREAS AS INDICATED ON PLANS.
 - SET PLANTS OUT ACCORDING TO PLAN AND ADJUST SPACING AS NEEDED FOR BEST FIT.
 - INSTALL ALL PLANTS AS PER PLANTING PLANS AND DETAILS.
 - DO NOT ALLOW PLANTS TO DRY OUT DURING INSTALLATION.
 - ALL PLANT MATERIALS SHALL CONFORM WITH THE MOST RECENT ADDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60) AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE, AND DISFIGURATION.
 - IN INSTANCES WHERE THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS IN THE PLANT SCHEDULE AND NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
 - ALL DECIDUOUS TREES NOT PLACED IN PLANTING BEDS SHALL RECEIVE A FOUR FOOT (4') DIAMETER SHREDED HARDWOOD MULCH RING, 3" DEPTH. ALL EVERGREEN TREES NOT PLACED IN PLANTING BEDS SHALL RECEIVE A SIX FOOT (6') DIAMETER SHREDED HARDWOOD MULCH RING, 3" DEPTH. EDGING IS NOT REQUIRED AROUND TREES NOT INSTALLED IN PLANTING BEDS.

BALLED AND BURLAPPED STOCK:
ROOTS OF ALL BALLED AND BURLAPPED STOCK SHALL FIL THE SOIL BALL, BE FREE OF KINKS, CIRCLING AND GIRDLING, AND THE UPPERMOST ROOTS SHALL NOT BE MORE THAN FOUR INCHES BELOW THE TOP OF THE SOIL BALL. TRANSPORT ROOTS SHALL BE SYMMETRICAL AROUND THE TRUNK / STEM OF THE PLANTS. SOIL BALLS MUST BE CENTERED OR NO MORE THAN 10% OFF CENTER.

DIG THE PLANTING PIT TWO TO THREE TIMES WIDER THAN THE SIZE OF THE ROOTBALL, AND AT THE SAME DEPTH AT WHICH THEY GREW IN THE NURSERY. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING PIT.

PLACE PLANT IN PLANTING PIT AND SET PLANTS VERTICAL. WHEN MOVING PLANTS, LIFT FROM BENEATH THE ROOT BALL, DO NOT LIFT BY THE TRUNK AND DO NOT BREAK OR LOOSEN THE ROOTBALL.

SET PLANTS ON SOLID, UNDISTURBED SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL, SO THE TOP OF THE ROOTBALL IS SLIGHTLY ABOVE FINISHED GRADE TO EXPOSE ROOTFLAIRS ON ALL B&B TREES TO PREVENT "STEM GIRDLING".

CUT AND REMOVE ALL TWINE AROUND THE TRUNK. PULL BURLAP AWAY FROM TRUNK SO THAT NO BURLAP REMAINS IN THE TOP THREE INCHES OF THE SOIL SURFACE. REMAINING BURLAP SHALL BE SLIT AT SIX INCH INTERVALS AROUND THE CIRCUMFERENCE OF THE ROOTBALL.

BACKFILL PLANTING PIT WITH ORIGINAL SOIL HALF-WAY TO THE TOP OF THE ROOTBALL. BREAK UP CLODS OF SOIL. IF SOILS ARE POOR (IE, HEAVY CLAYS, SAND, OR COMPACTED), BACKFILL CAN BE A MIXTURE OF 1/3 SOIL AMENDMENT MIXED WITH 2/3 ORIGINAL SOIL. DO NO USE PEAT AS PART OF BACKFILL IN CLAY SOILS. REMOVE ALL ROCKS AND DEBRIS FROM BACKFILL AND THEN WATER PLANT AND BACKFILLED AREA TO SETTLE PLANTS AND FILL VOIDS.

REMOVE ALL WIRE BASKETS FROM THE TOP 1/2 OF THE ROOTBALL AND CONTINUE BACKFILLING REMAINING PLANTING PIT WITH ORIGINAL SOIL.

WATER THOROUGHLY A SECOND TIME TO SETTLE PLANTS AND FILL VOIDS WITHIN TWO HOURS OF PLANTING. PLACE SPECIFIED MULCH WITHIN 48 HOURS OF THE SECOND WATERING. PROVIDE SUPPORT IF NECESSARY.

CONTAINER STOCK:
DIG THE PLANTING HOLE TWO TO THREE TIMES WIDER THAN THE SIZE OF THE CONTAINER, OR TO THE EDGE OF THE PLANTING BED AS INDICATED ON THE PLANS, AND AT THE SAME DEPTH AT WHICH THEY GREW IN THE NURSERY. FOR ADDITIONAL PLANTING BED PREPARATION, SEE PLANTING NOTES.

REMOVE CONTAINER (BY CUTTING IF NECESSARY).

IF ROOTS ARE GROWING IN A SPIRAL AROUND THE SOIL MASS, USE A SHARP KNIFE TO SCORE THE OUTSIDE OF SOIL MASS VERTICALLY, JUST DEEP ENOUGH TO CUT THE NET OF THE ROOTS, AND MAKE A CRISS-CROSS CUT ACROSS THE BOTTOM OF THE SOIL MASS.

SET PLANT ON SOLID UNDISTURBED SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL, SO THE TOP OF THE SOIL IS AT FINISHED GRADE OR SLIGHTLY ABOVE, NOT TO EXCEED TWO INCHES.

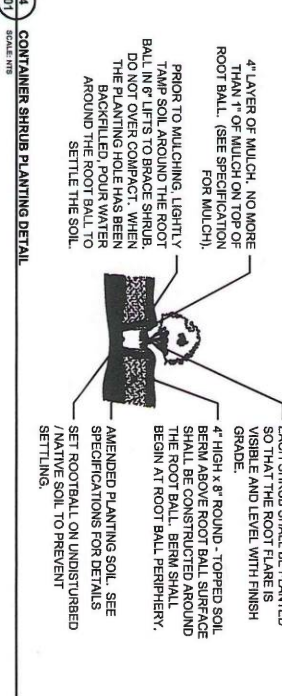
BACKFILL PLANTING BED WITH ORIGINAL SOIL. BREAK UP CLODS OF SOIL. IF SOILS ARE POOR (IE, HEAVY CLAYS, SAND, OR COMPACTED), BACKFILL CAN BE A MIXTURE OF 1/3 SOIL AMENDMENT WITH 2/3 ORIGINAL SOIL. DO NOT USE PEAT AS PART OF BACKFILL IN CLAY SOILS. REMOVE ALL ROCKS AND DEBRIS FROM BACKFILL.

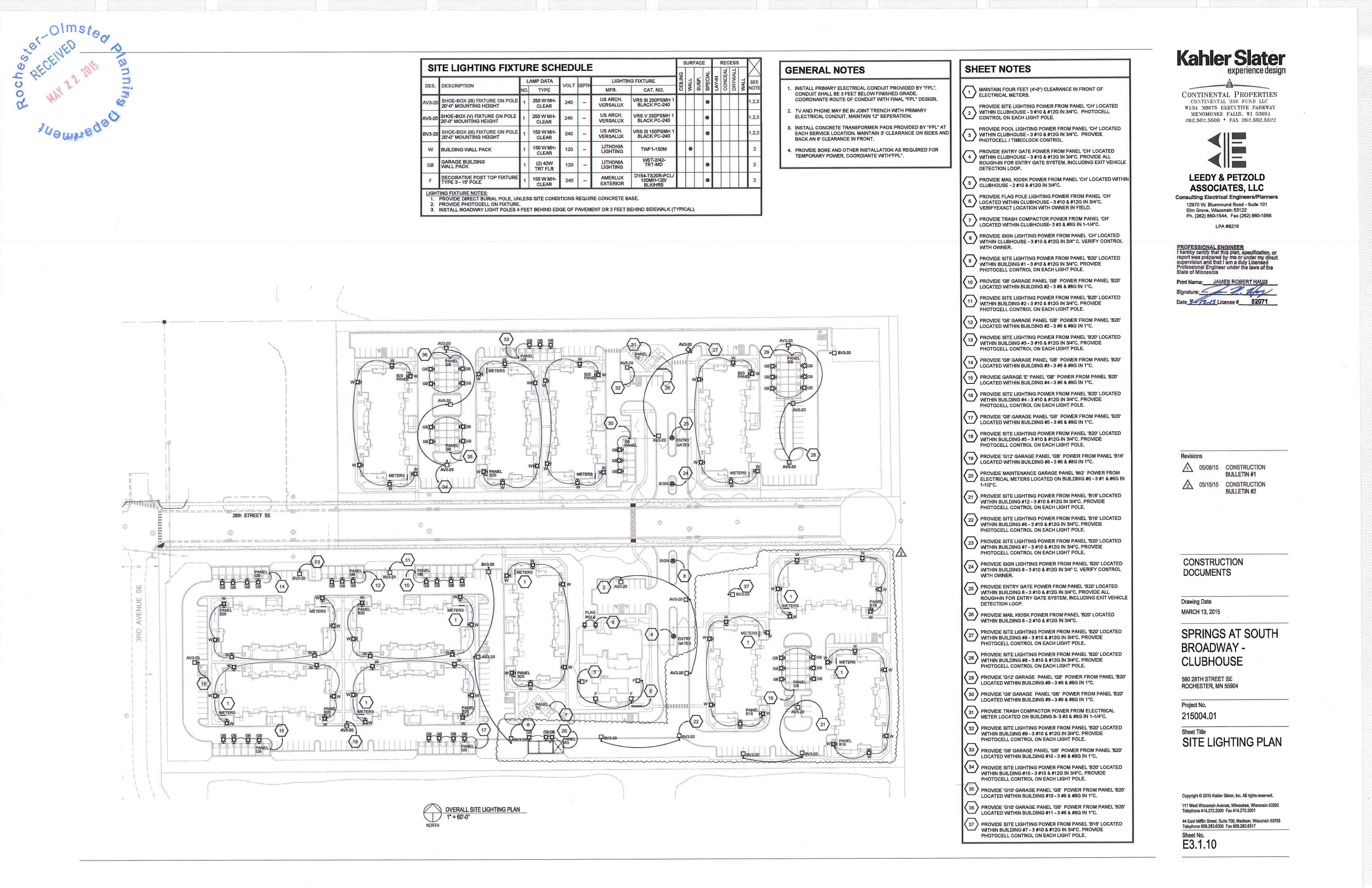
THOROUGHLY WATER TO SETTLE THE PLANTS AND FILL VOIDS WITHIN TWO HOURS OF PLANTING. INSTALL MULCH WITHIN 48 HOURS OF WATERING.

SPRING TO MID-SUMMER PLANTING:
FERTILIZE AT THE TIME OF PLANTING WITH A SLOW-RELEASE, BALANCED FERTILIZER. USE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MIX FERTILIZER IN WITH BACKFILL OR BROADCAST IN A DIAMETER AROUND THE PLANT.

LATE SUMMER TO FALL PLANTINGS:
USE A FERTILIZER WITHOUT NITROGEN FOR DECIDUOUS TREES. DO NOT APPLY ANY FERTILIZER TO EVERGREEN TREES AND SHRUBS PLANTED IN LATE SUMMER OR EARLY FALL.

SHREDED WOOD MULCH:
SHREDED WOOD MULCH SHALL BE INSTALLED AT A 3" COMPACTED DEPTH PLACED TO THE EDGE OF THE PLANTING BED. PLANTS NOT IN A PLANTING BED SHALL HAVE A 4" DIA. MULCHED AREA. MULCH SHALL BE PULLED AWAY FROM DIRECT CONTACT WITH THE TREE TRUNK OR PLANT STEM. MULCHED AREA SHALL FORM A WELL AROUND PLANTS OR PLANTING BEDS.





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SITE LIGHTING FIXTURE SCHEDULE							SURFACE		RECESS		SEE NOTE
DES.	DESCRIPTION	LAMP DATA	VOLT	DEPTH	LIGHTING FIXTURE		CEILING	WALL	CONCEAL	DRYWALL	
		NO. TYPE			MFR.	CAT. NO.					
AV3-20	SHOE-BOX (III) FIXTURE ON POLE 20'-0" MOUNTING HEIGHT	1 250 W MH-CLEAR	240	-	US ARCH. VERSALUX	VRS III 250PSMH 1 BLACK PC-240					1,2,3
AV5-20	SHOE-BOX (V) FIXTURE ON POLE 20'-0" MOUNTING HEIGHT	1 250 W MH-CLEAR	240	-	US ARCH. VERSALUX	VRS V 250PSMH 1 BLACK PC-240					1,2,3
BV3-20	SHOE-BOX (III) FIXTURE ON POLE 20'-0" MOUNTING HEIGHT	1 150 W MH-CLEAR	240	-	US ARCH. VERSALUX	VRS III 150PSMH 1 BLACK PC-240					1,2,3
W	BUILDING WALL PACK	1 150 W MH-CLEAR	120	-	LITHONIA LIGHTING	TWF1-150M					2
GB	GARAGE BUILDING WALL PACK	1 (2) 42W TRT FLR	120	-	LITHONIA LIGHTING	WST-242-TRT-MD					2
F	DECORATIVE POST TOP FIXTURE TYPE 3 - 15' POLE	1 150 W MH-CLEAR	240	-	AMERLUX EXTERIOR	D154-TS20R-PCU 150MH-120V BLK/HRS					2
LIGHTING FIXTURE NOTES: 1. PROVIDE DIRECT BURIAL POLE, UNLESS SITE CONDITIONS REQUIRE CONCRETE BASE. 2. PROVIDE PHOTOCELL ON FIXTURE. 3. INSTALL ROADWAY LIGHT POLES 4 FEET BEHIND EDGE OF PAVEMENT OR 2 FEET BEHIND SIDEWALK (TYPICAL).											

PHOTOMETRIC NOTES

1. FIXTURES MEET TYPE 3 FIXTURES PER ROCHESTER REQUIREMENTS. LUMINAIRES WITH TOTAL CUTOFF OF LIGHT OF LESS THAN 90 DEGREE SHALL BE DESIGNED SO THAT THE BARE LIGHT BULB, LAMP, OR SOURCE IS COMPLETELY SHIELDED FROM THE DIRECT VIEW OF AN OBSERVER STANDING AT THE PROPERTY LINE AT A POINT FIVE FEET ABOVE GRADE.
2. THE MAXIMUM PERMITTED DESIGN REQUIREMENTS OF CUTOFF LUMINAIRES ARE, PER STANDARD 'R', MAXIMUM PERMITTED PROPERTY ILLUMINATION OF 0.5fc.

Kahler Slater
experience design

CONTINENTAL PROPERTIES
CONTINENTAL 326 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
262.502.5500 • FAX 262.502.5522



**LEEDY & PETZOLD
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Consulting Electrical Engineers/Planners
12970 W. Bluemound Road - Suite 101
Elm Grove, Wisconsin 53122
Ph. (262) 860-1544, Fax (262) 860-1566
LPA #8216

PROFESSIONAL ENGINEER
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: **JAMES ROBERT HAUG**
Signature:
Date: **3/13/15** License # **52071**

Revisions		
	05/08/15	CONSTRUCTION BULLETIN #1
	05/15/15	CONSTRUCTION BULLETIN #2

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

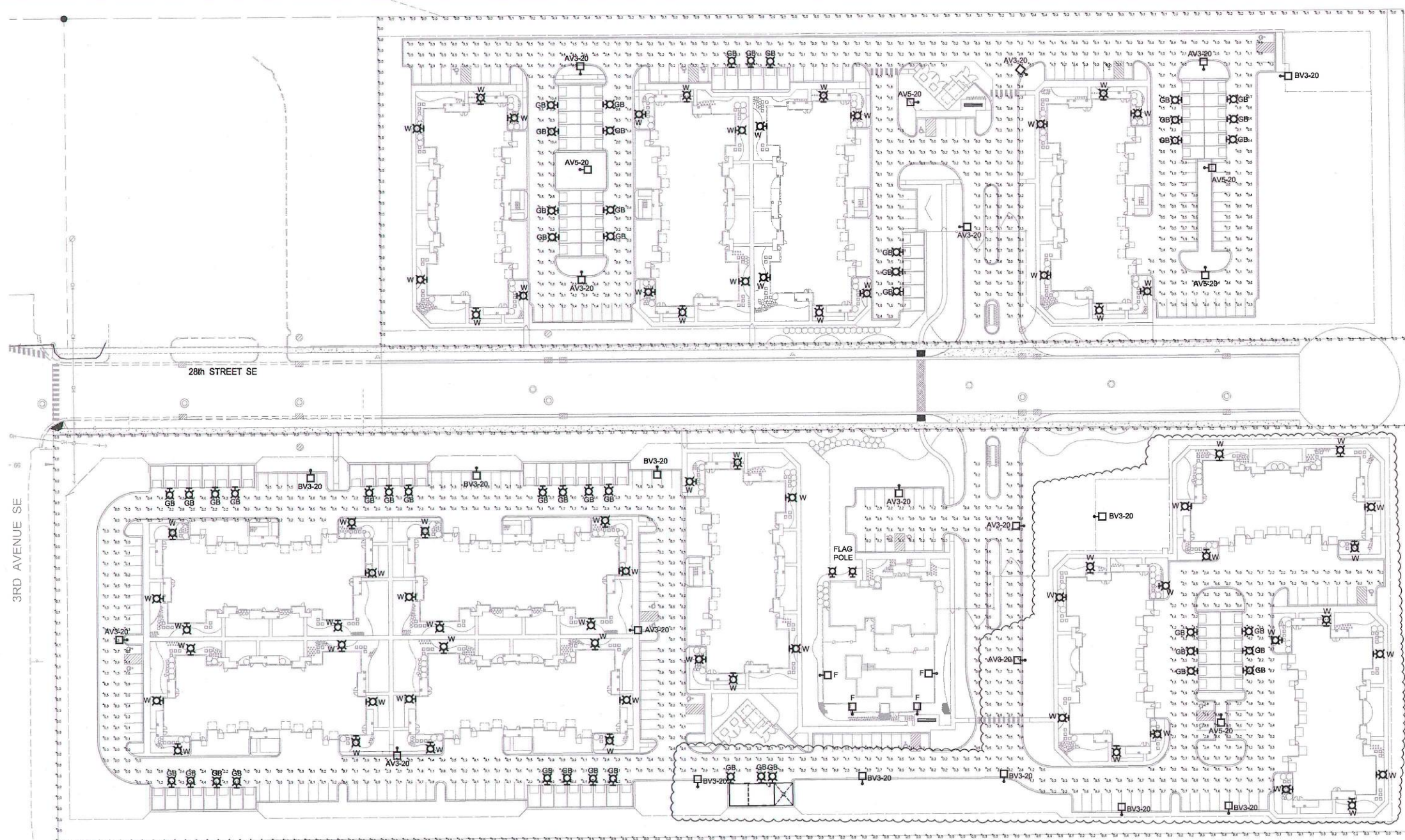
SPRINGS AT SOUTH BROADWAY - CLUBHOUSE

560 28TH STREET SE
ROCHESTER, MN 55904

Project No.
215004.01

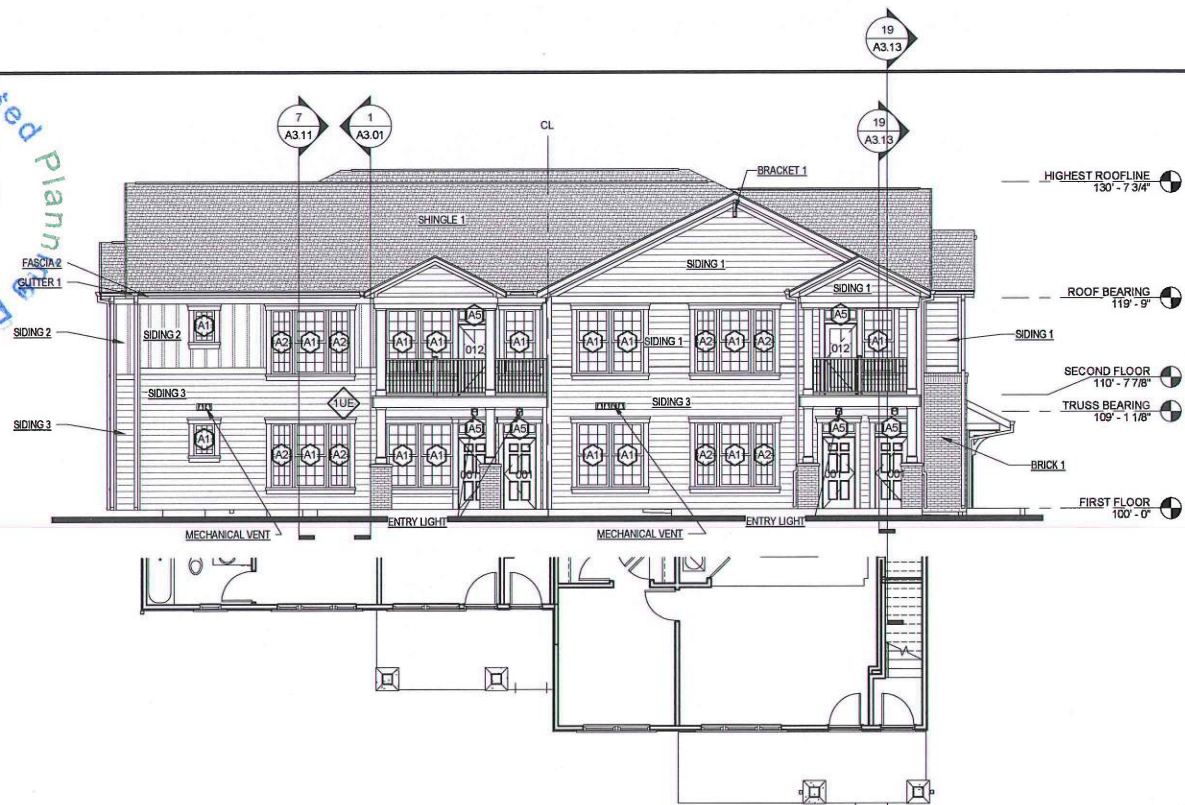
SITE PHOTOMETRIC PLAN

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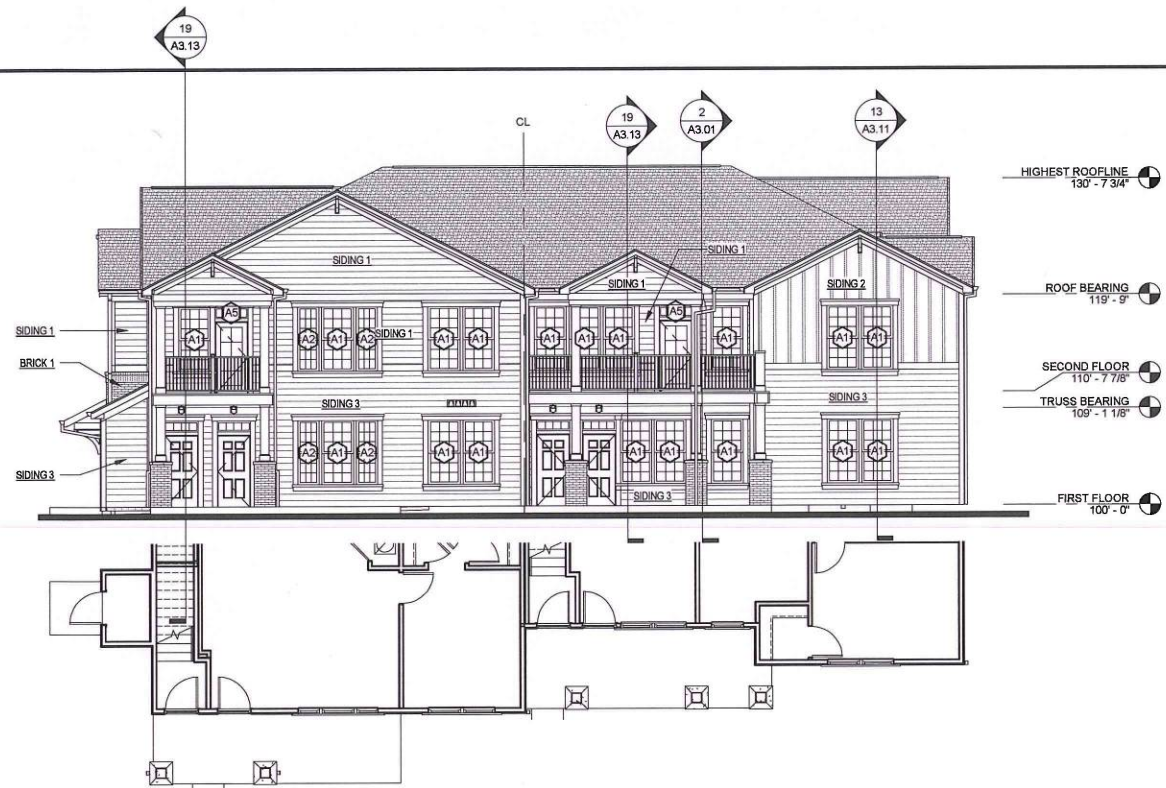


OVERALL SITE LIGHTING PHOTOMETRIC PLAN
1" = 50'-0"
NORTH

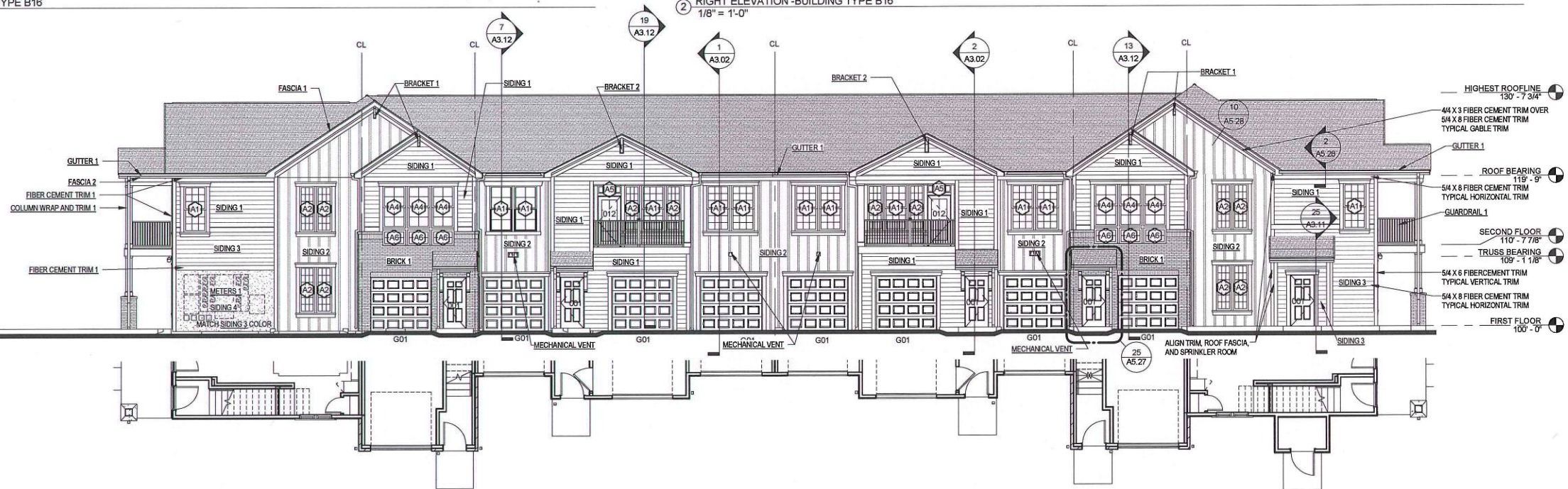
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③ LEFT ELEVATION - BUILDING TYPE B16
1/8" = 1'-0"



② RIGHT ELEVATION - BUILDING TYPE B16
1/8" = 1'-0"



① FRONT ELEVATION - BUILDING TYPE B16
1/8" = 1'-0"

GENERAL NOTES	MATERIALS AND COMPONENTS	MATERIALS AND COMPONENTS	EXTERIOR FINISH COLORS	KEY PLAN
<p>1. PROVIDE PREFINISHED METAL DRIP CAPS AT ALL WINDOW AND DOOR HEADS.</p> <p>2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.</p> <p>3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.</p> <p>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.</p> <p>5. SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.</p>	<p>BRACKET 1 BRACKET MODEL BKT11X20 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS</p> <p>BRACKET 2 PYLON DECORATIVE BRACKET. BRACKET MODEL BKT5X20, OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS</p> <p>BRICK 1 STANDARD BRICK UNITS, RUNNING BOND, METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENEER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. REFER TO EXTERIOR FINISH COLORS</p> <p>COLUMN WRAP AND TRIM 1 COLUMN W/ SQUARE CAP AND BASE, STYLE AND COLOR AS SELECTED BY OWNER, INSTALLED PER MANUFACTURER RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS</p> <p>ENTRY LIGHT LIGHT FIXTURE AS SELECTED BY OWNER, MOUNTED PER DETAILS ON AS 2425, CENTERED ON DOOR WITH THE MIDPOINT OF THE FIXTURE @ 7'-8" AFF AT ENTRY SHED ROOF LOCATIONS & 9'-0" AFF AT TRANSOM LOCATIONS</p> <p>FASCIA 1 44 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS</p> <p>FASCIA 2 54 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS</p> <p>FIBER CEMENT TRIM 1 HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURERS RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS</p> <p>GUARDRAIL 1 PREFINISHED 40" HIGH VINYL COATED METAL BALCONY RAILING ASSEMBLY WITH 2"x3" TOP RAIL, 2"x2" BOTTOM RAIL, 3/4" VINYL COATED SQUARE PICKETS, AND 4"x4" CENTER POST. INSTALL SO THAT CENTER OF TOP RAIL IS AT 42" ABOVE FINISHED BALCONY FLOOR, 4" DIA. SPHERE SHALL NOT PASS THRU SPACE BETWEEN PICKETS OR BOTTOM OF RAIL</p> <p>GUTTER 1 PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" X 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.</p> <p>MECHANICAL VENT THRU-WALL MECHANICAL UNIT - SEE MECHANICAL DRAWINGS</p> <p>METERS 1 ELECTRIC METER BANK</p> <p>SHINGLE 1 TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD</p> <p>SIDING 1 HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES</p>	<p>SIDING 2 HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1/3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES</p> <p>SIDING 3 HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES</p> <p>SIDING 4 HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR</p>	<p>BRICK 1 GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED</p> <p>DOORS - TYPICAL PRE-FINISHED TO MATCH DELICATE WHITE</p> <p>DOORS - UNIT ENTRY PPG #534-7 "BURGUNDY WINE"</p> <p>EXTERIOR CEILINGS PRE-FINISHED TO MATCH DELICATE WHITE</p> <p>FASCIA PRE-FINISHED - DELICATE WHITE</p> <p>FIBER CEMENT TRIM 1 PRE-FINISHED - DELICATE WHITE</p> <p>GARAGE DOORS PRE-FINISHED TO MATCH DELICATE WHITE</p> <p>GUTTERS/DOWNSPOUTS PRE-FINISHED TO MATCH DELICATE WHITE</p> <p>RAILINGS PRE-FINISHED TO MATCH DELICATE WHITE</p> <p>SHINGLE 1 TAMKO "WEATHERED WOOD"</p> <p>SHUTTER 1 PPG #534-7 "BURGUNDY WINE"</p> <p>SIDING 1 PRE-FINISHED - AUTUMN TAN or PPG PAINT #1038-4 "SPICED VINEGAR"</p> <p>SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #1098-2 "HEAVY CREAM"</p> <p>SIDING 3 PRE-FINISHED - KHAKI BROWN or PPG PAINT #1023-5 "WIND MILL"</p> <p>SOFFIT PANELS PRE-FINISHED TO MATCH DELICATE WHITE</p> <p>WINDOWS PRE-FINISHED: WHITE</p>	<p>KEY PLAN</p> <p>1</p> <p>2</p> <p>3</p>

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Revisions

CONSTRUCTION
DOCUMENTS

Drawing Date
MAY 13, 2015

SPRINGS AT SOUTH
BROADWAY

Rochester, MN

Project No.
215004.01

Sheet Title
**EXTERIOR
ELEVATIONS -
BUILDING TYPE B16**

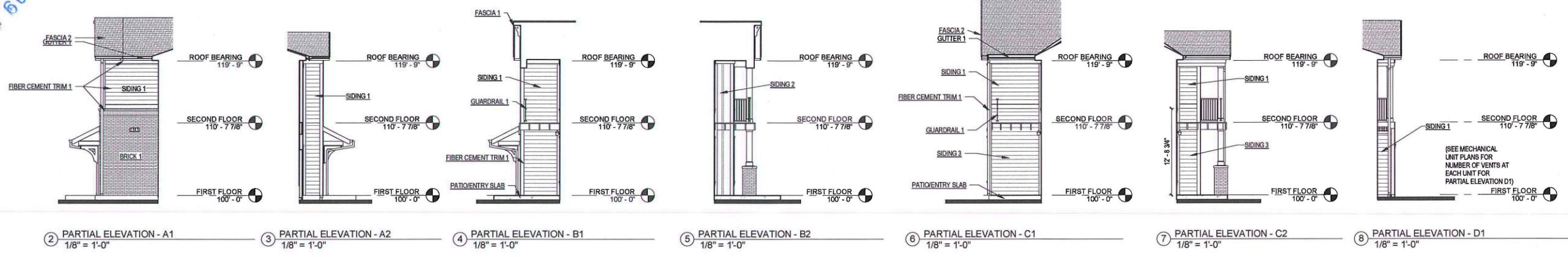
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Sheet No.
A2.C.1

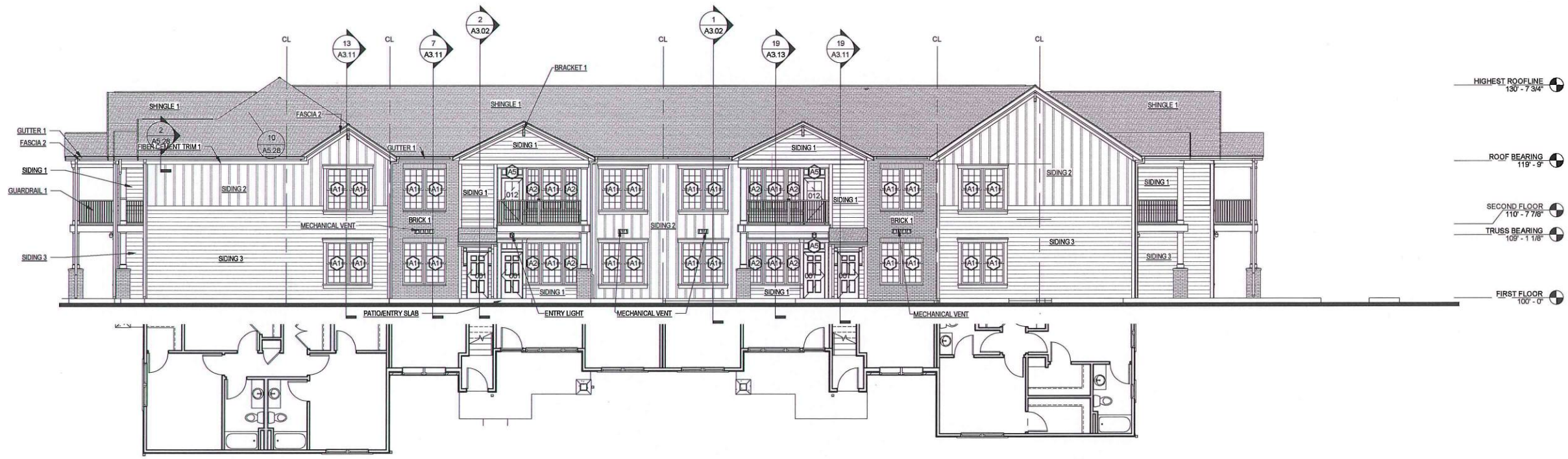
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2 PARTIAL ELEVATION - A1 1/8" = 1'-0"
3 PARTIAL ELEVATION - A2 1/8" = 1'-0"
4 PARTIAL ELEVATION - B1 1/8" = 1'-0"
5 PARTIAL ELEVATION - B2 1/8" = 1'-0"
6 PARTIAL ELEVATION - C1 1/8" = 1'-0"
7 PARTIAL ELEVATION - C2 1/8" = 1'-0"
8 PARTIAL ELEVATION - D1 1/8" = 1'-0"



1 REAR ELEVATION - BUILDING TYPE B16 1/8" = 1'-0"

GENERAL NOTES

- PROVIDE PREFINISHED METAL DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
- PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
- MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
- SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.

LEGEND

XX WINDOW TYPE - SEE SHEET A6.02

MECHANICAL EXHAUST/INTAKE VENT - SEE SHEET A6.24/AS.25 FOR DETAILS. NO MORE THAN 4 VENTS TO BE GANGED TOGETHER.

MATERIALS AND COMPONENTS

BRACKET 1 BRACKET MODEL BKT11X20 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS.

BRICK 1 STANDARD BRICK UNITS, RUNNING BOND. METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENEER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. REFER TO EXTERIOR FINISH COLORS.

ENTRY LIGHT LIGHT FIXTURE AS SELECTED BY OWNER, MOUNTED PER DETAILS ON AS.24/25, CENTERED ON DOOR WITH THE MIDPOINT OF THE FIXTURE @ 7'-8" AFF AT ENTRY SHED ROOF LOCATIONS & 9'-0" AFF AT TRANSOM LOCATIONS.

FASCIA 1 4x4 x 2 FIBER CEMENT SHADOW BOARD OVER 5/4 x 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.

FASCIA 2 5/4 x 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.

FIBER CEMENT TRIM 1 HARDIE TRIM RUSTIC GRAIN BE BOARD - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS.

GUARDRAIL 1 PREFINISHED 40" HIGH VINYL COATED METAL BALCONY RAILING ASSEMBLY WITH 2x3" TOP RAIL, 2x2" BOTTOM RAIL, 3/4" VINYL COATED SQUARE PICKETS, AND 4x4" CENTER POST. INSTALL SO THAT CENTER OF TOP RAIL IS AT 42" ABOVE FINISHED BALCONY FLOOR, 4" DIA. SPHERE SHALL NOT PASS THRU SPACE BETWEEN PICKETS OR BOTTOM OF RAIL.

GUTTER 1 PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" x 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.

MECHANICAL VENT THRU-WALL MECHANICAL UNIT - SEE MECHANICAL DRAWINGS.

PATIO/ENTRY SLAB ENTRY STOOPS AND PATIO: BROOM FINISH CONCRETE, SEALED.

SHINGLE 1 TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD.

SIDING 1 HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.

SIDING 2 HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1x3 BATTEN BOARDS AT 16" O.C. VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.

MATERIALS AND COMPONENTS

SIDING 3 HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.

EXTERIOR FINISH COLORS

BRICK 1 GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED.

DOORS - TYPICAL PRE-FINISHED TO MATCH DELICATE WHITE.

DOORS - UNIT ENTRY PPG #534-7 "BURGUNDY WINE".

EXTERIOR CEILINGS PRE-FINISHED TO MATCH DELICATE WHITE.

FASCIA PRE-FINISHED - DELICATE WHITE.

FIBER CEMENT TRIM 1 PRE-FINISHED - DELICATE WHITE.

GARAGE DOORS PRE-FINISHED TO MATCH DELICATE WHITE.

GUTTERS/DOWNSPOUTS PRE-FINISHED TO MATCH DELICATE WHITE.

RAILINGS PRE-FINISHED TO MATCH DELICATE WHITE.

SHINGLE 1 TAMKO "WHEATHERED WOOD".

SHUTTER 1 PPG #534-7 "BURGUNDY WINE".

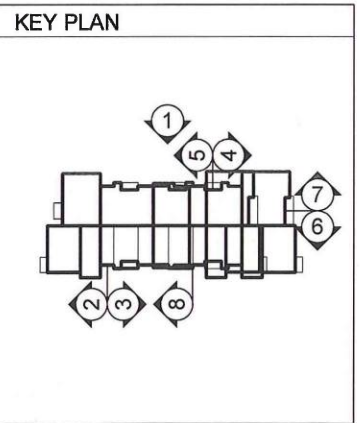
SIDING 1 PRE-FINISHED - AUTUMN TAN or PPG PAINT #1098-4 "SPICED VINEGAR".

SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #1098-2 "HEAVY CREAM".

SIDING 3 PRE-FINISHED - KHAKI BROWN or PPG PAINT #1023-5 "WIND MILL".

SOFFIT PANELS PRE-FINISHED TO MATCH DELICATE WHITE.

WINDOWS PRE-FINISHED: WHITE.



Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MAY 13, 2015

SPRINGS AT SOUTH BROADWAY

Rochester, MN

Project No.
215004.01

Sheet Title
EXTERIOR ELEVATIONS - BUILDING TYPE B16

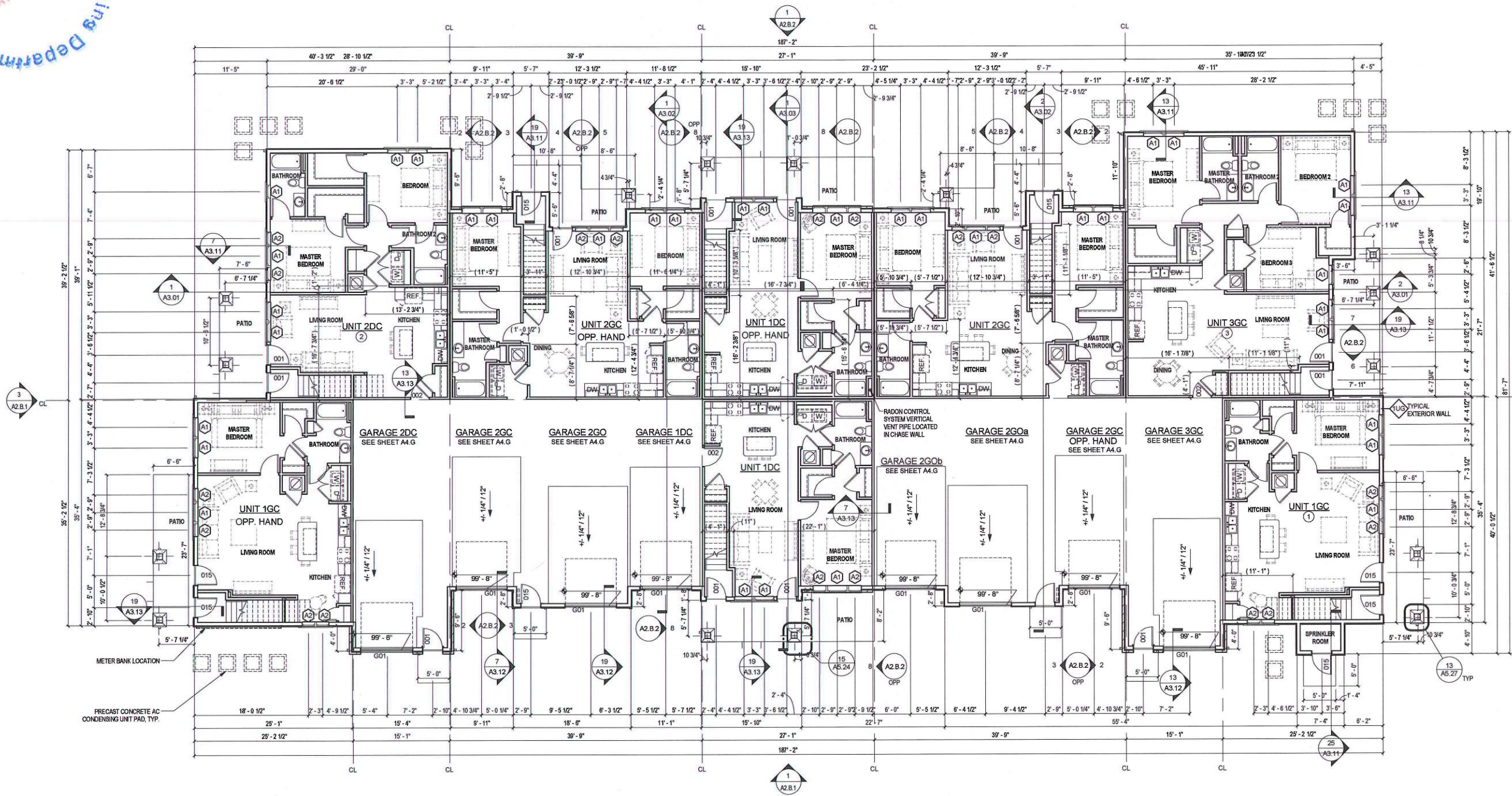
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A2.C.2

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: JAMES RASCHKE
Signature: [Signature]
Date: 3/13/15 License #: 42070

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

310 - 680 28TH STREET SE
Rochester, MN 55904

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Sheet Title
FIRST FLOOR PLAN - BUILDING TYPE B20

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Sheet No.
A1.B.11

1 FIRST FLOOR PLAN - BUILDING TYPE B20
1/8" = 1'-0"



GENERAL NOTES

- 1/8" BUILDING PLANS PROVIDED AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT PLANS FOR COMPLETE DIMENSIONS AND NOTES LOCATED ON A4 SHEETS.
- ALL GROUND FLOOR PLANS SHALL BE CONSTRUCTED PER FAIR HOUSING REQUIREMENTS & COMPLY WITH ACCESSIBILITY REQUIREMENTS. SEE UNIT PLANS & DEFINITIONS FOR COMPLIANCE.
- CONDENSER UNIT AND PADS ARE SHOWN AS GRAPHIC REPRESENTATION OF PAD LOCATION. DRAWINGS FOR ACTUAL PAD LOCATION AND FREE AIR SPACE REQUIRED AROUND CONDENSERS.
- REFER TO MEP DWGS. FOR FIRE ALARM, PULL, CONTROL PANEL, SIGNALS, BELLHORN LOCATIONS, AND EXIT SIGNS.

- REFER TO SHEET A6.01 & A6.02 FOR WINDOW AND DOOR SCHEDULES.
- CONTRACTOR TO FIELD LOCATE END OF BUILDING TO RECEIVE METER BANK. LOCATE ON END OF BUILDING CLOSEST TO POWER COMPANY'S ELECTRICAL TRANSFORMER.
- FIRE SPRINKLER & ALARM DRAWINGS TO BE PROVIDED BY CONTRACTED FIRE SPRINKLER CONTRACTOR. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO THE SUBMITTAL TO THE COUNTY FOR APPROVAL.
- PROVIDE 1 HOUR RATED TENANT SEPARATION PARTITION AROUND ALL UNITS AND BLDG. COMMON CORRIDOR AND STAIRS PER UL DESIGN SPECIFICATIONS. SEAL ALL PENETRATIONS IN WALLS TO MATCH RATINGS.

- PROVIDE WOOD HANDRAIL AND BRACKETS AT INTERIOR STAIRS. WOOD SPECIES AND FINISH AS SELECTED BY OWNER.
- ALL FIRST AND SECOND FLOOR PARTITIONS FOR THE APARTMENT BUILDINGS EXTEND FROM THE FLOOR TO UNDERSIDE OF THE FLOOR AND OR ROOF ASSEMBLY AT 9'-1 1/8" UNLESS OTHERWISE NOTED.

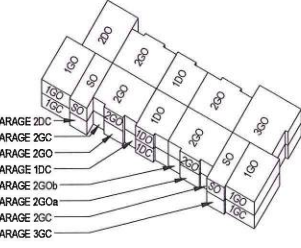
KEYED NOTES

- ANSI TYPE A UNIT (1GC) IN BUILDINGS 6 & 8
- ANSI TYPE A UNIT (2GC) IN BUILDINGS 2 & 4
- ANSI TYPE A UNIT (3GC) IN BUILDING 11

LEGEND

- MECHANICAL EXHAUST VENT
- BEARING WALL CENTERLINE TO CENTERLINE
- CENTERLINE OF TENANT SEPARATION WALLS

BUILDING TYPE B20

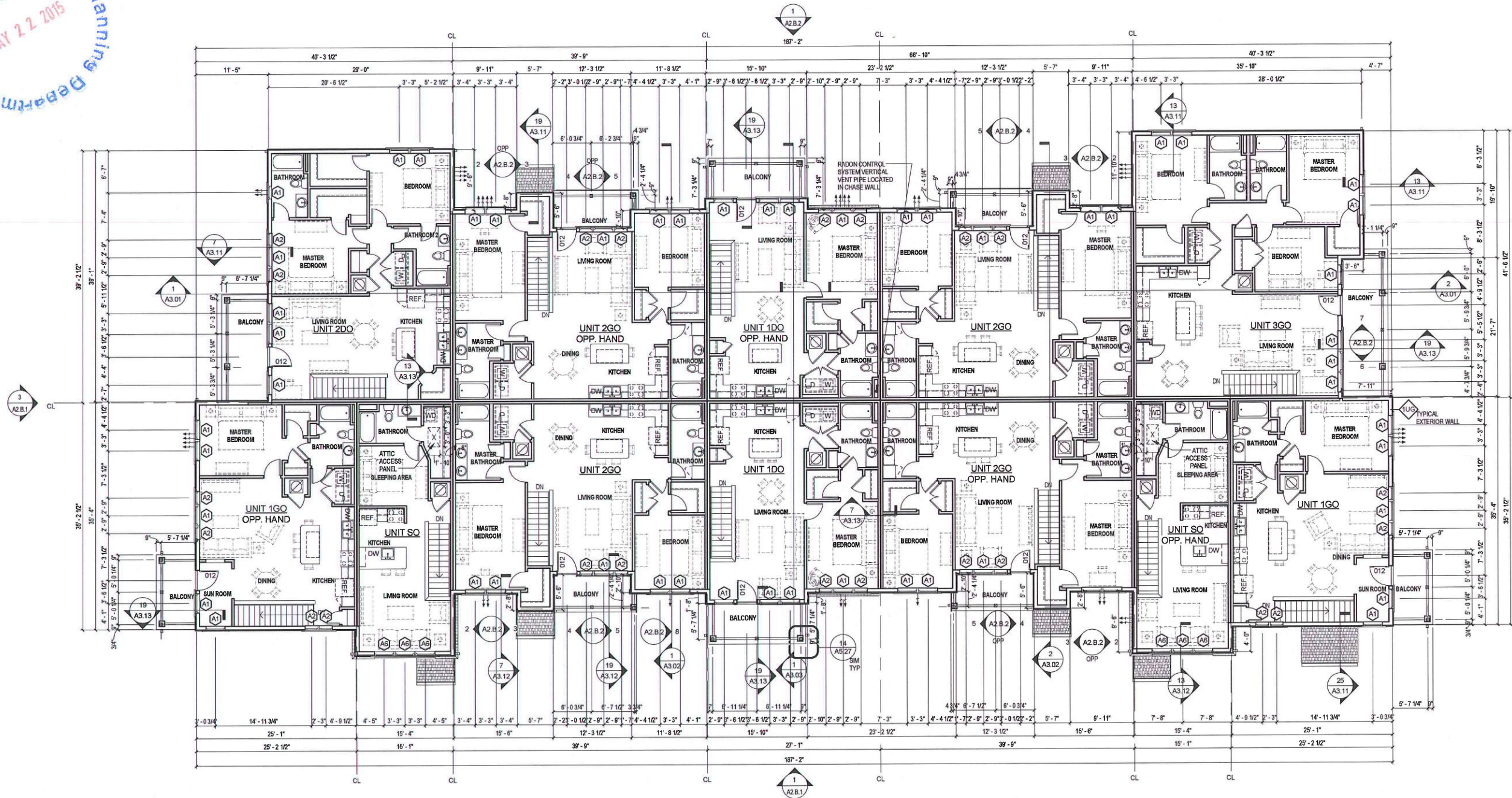


UNIT TYPE MATRIX	1ST FLOOR	2ND FLOOR	TOTAL BLDG.	NO. OF BLDGS.	UNIT TOTAL
UNIT 1DC	2	-	2	9	18
UNIT 1DO	-	2	2	9	18
UNIT 1GC	2	-	2	9	18
UNIT 1GO	-	2	2	9	18
UNIT S1	0	-	0	9	0
UNIT S0	-	2	2	9	18
UNIT 2GC	1	-	1	9	9
UNIT 2DO	-	1	1	9	9
UNIT 2GC	2	-	2	9	18
UNIT 2GO	-	4	4	9	36
UNIT 3GC	1	-	1	9	9
UNIT 3GO	-	1	1	9	9
GARAGE 2DC	2	-	2	9	18
GARAGE S1	2	-	2	9	18
TOTALS	8	12	20	9	216

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262.502.5500 • FAX 262.502.5522



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: JAMES RASCHKE
Signature: [Signature]
Date: 3/13/15 License #: 42070

Revisions

CONSTRUCTION
DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH
BROADWAY

310 - 680 28TH STREET SE
Rochester, MN 55904

Project No.
215004.01

Sheet Title
SECOND FLOOR PLAN
- BUILDING TYPE B20

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Sheet No.
A1.B.12

1 SECOND FLOOR PLAN - BUILDING TYPE B20
1/8" = 1'-0"

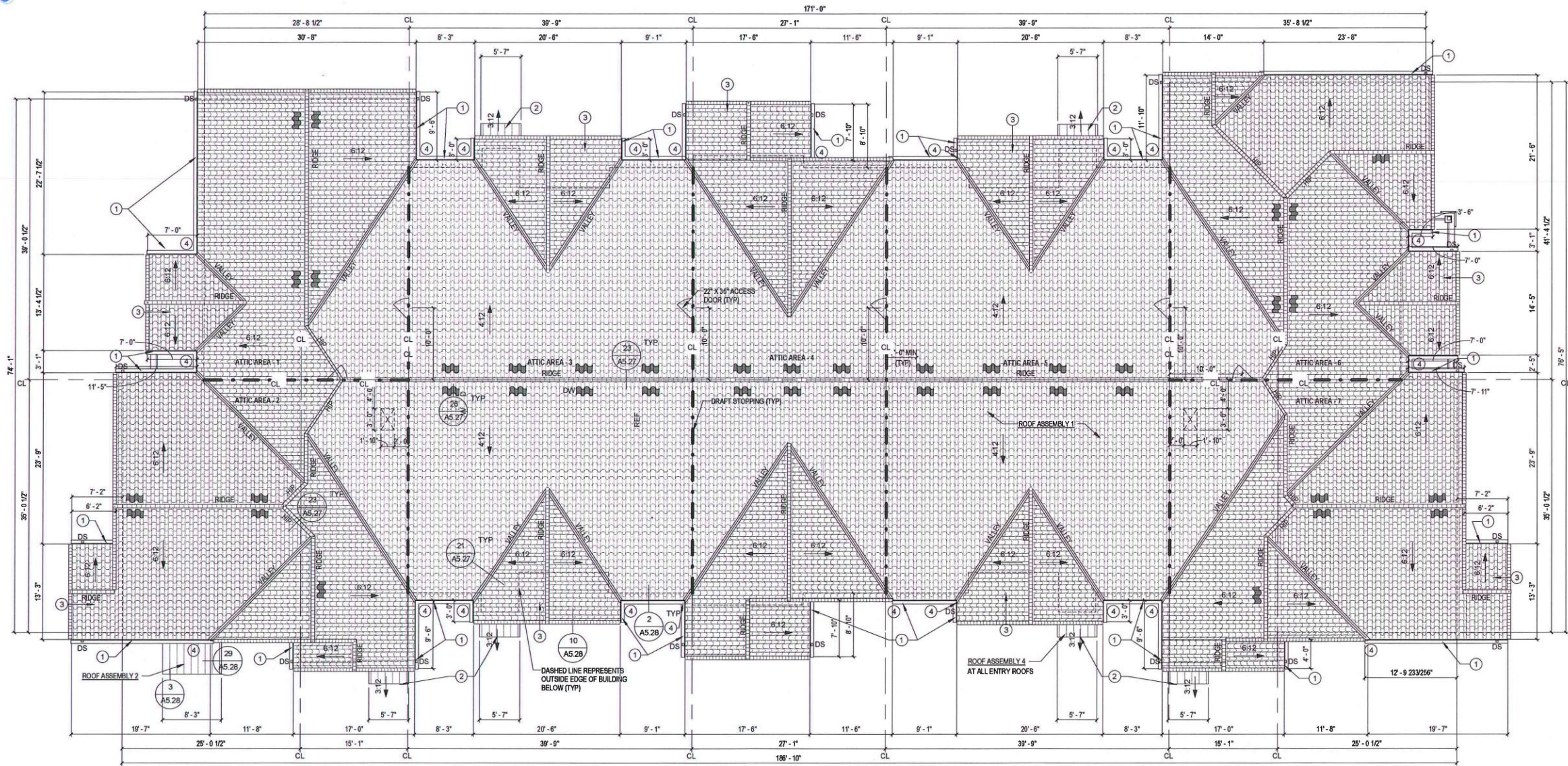


GENERAL NOTES			KEYED NOTES	LEGEND	BUILDING TYPE B20	UNIT TYPE MATRIX	1ST FLOOR	2ND FLOOR	TOTAL BLDG.	NO. OF BLDGS.	UNIT TOTAL																																																																																					
<p>1. 1/8" BUILDING PLANS PROVIDED AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT PLANS FOR COMPLETE DIMENSIONS AND NOTES LOCATED ON A4 SHEETS.</p> <p>2. ALL GROUND FLOOR PLANS SHALL BE CONSTRUCTED PER FAIR HOUSING REQUIREMENTS & COMPLY WITH ACCESSIBILITY REQUIREMENTS. SEE UNIT PLANS & DEFINITIONS FOR COMPLIANCE.</p> <p>3. CONDENSER UNIT AND PADS ARE SHOWN AS GRAPHIC REPRESENTATION OF PAD LOCATION. COORDINATE WITH MECHANICAL ENGINEERS DRAWINGS FOR ACTUAL PAD LOCATION AND FREE AIR SPACE REQUIRED AROUND CONDENSERS.</p> <p>4. REFER TO MEP DWGS. FOR FIRE ALARM, PULL, CONTROL PANEL, SIGNALS, BELL/HORN LOCATIONS, AND EXIT SIGNS.</p>	<p>5. REFER TO SHEET A6.01 & A6.02 FOR WINDOW AND DOOR SCHEDULES.</p> <p>6. CONTRACTOR TO FIELD LOCATE END OF BUILDING TO RECEIVE METER BANK. LOCATE ON END OF BUILDING CLOSEST TO POWER COMPANY'S ELECTRICAL TRANSFORMER.</p> <p>7. FIRE SPRINKLER & ALARM DRAWINGS TO BE PROVIDED BY CONTRACTED FIRE SPRINKLER CONTRACTOR. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO THE SUBMITTAL TO THE COUNTY FOR APPROVAL.</p> <p>8. PROVIDE 1-HOUR RATED TENANT SEPARATION PARTITION AROUND ALL UNITS AND BLDG. COMMON CORRIDOR AND STAIRS PER UL DESIGN SPECIFICATIONS. SEAL ALL PENETRATIONS IN WALLS TO MATCH RATINGS.</p>	<p>9. PROVIDE WOOD HANDRAIL AND BRACKETS AT INTERIOR STAIRS. WOOD SPECIES AND FINISH AS SELECTED BY OWNER.</p> <p>10. ALL FIRST AND SECOND FLOOR PARTITIONS FOR THE APARTMENT BUILDINGS EXTEND FROM THE FLOOR TO UNDERSIDE OF THE FLOOR AND OR ROOF ASSEMBLY AT 9'-1 1/8" UNLESS OTHERWISE NOTED.</p>	<p>① ANSI TYPE A UNIT (1GCA) IN BUILDINGS 6 & 8</p> <p>② ANSI TYPE A UNIT (2GCA) IN BUILDINGS 2 & 4</p> <p>③ ANSI TYPE A UNIT (3GCA) IN BUILDING 11</p>	<p> MECHANICAL EXHAUST VENT</p> <p> BEARING WALL CENTERLINE TO CENTERLINE</p> <p> CENTERLINE OF TENANT SEPARATION WALLS</p>	<p>GARAGE 2DC</p> <p>GARAGE 2GC</p> <p>GARAGE 2GO</p> <p>GARAGE 1DC</p> <p>GARAGE 2GOa</p> <p>GARAGE 2GC</p> <p>GARAGE 3GC</p>	<table><tr><td>UNIT 1DC</td><td>2</td><td>-</td><td>2</td><td>9</td><td>18</td></tr><tr><td>UNIT 1DO</td><td>-</td><td>2</td><td>2</td><td>9</td><td>18</td></tr><tr><td>UNIT 1GC</td><td>2</td><td>-</td><td>2</td><td>9</td><td>18</td></tr><tr><td>UNIT 1GO</td><td>-</td><td>2</td><td>2</td><td>9</td><td>18</td></tr><tr><td>UNIT S1</td><td>0</td><td>-</td><td>0</td><td>9</td><td>0</td></tr><tr><td>UNIT S0</td><td>-</td><td>2</td><td>2</td><td>9</td><td>18</td></tr><tr><td>UNIT 2DC</td><td>1</td><td>-</td><td>1</td><td>9</td><td>9</td></tr><tr><td>UNIT 2DO</td><td>-</td><td>1</td><td>1</td><td>9</td><td>9</td></tr><tr><td>UNIT 2GC</td><td>2</td><td>-</td><td>2</td><td>9</td><td>18</td></tr><tr><td>UNIT 2GO</td><td>-</td><td>4</td><td>4</td><td>9</td><td>36</td></tr><tr><td>UNIT 3GC</td><td>1</td><td>-</td><td>1</td><td>9</td><td>9</td></tr><tr><td>UNIT 3GO</td><td>-</td><td>1</td><td>1</td><td>9</td><td>9</td></tr><tr><td>GARAGE 2DC</td><td>2</td><td>-</td><td>2</td><td>9</td><td>18</td></tr><tr><td>GARAGE S1</td><td>2</td><td>-</td><td>2</td><td>9</td><td>18</td></tr><tr><td>TOTALS</td><td>8</td><td>12</td><td>20</td><td>9</td><td>216</td></tr></table>	UNIT 1DC	2	-	2	9	18	UNIT 1DO	-	2	2	9	18	UNIT 1GC	2	-	2	9	18	UNIT 1GO	-	2	2	9	18	UNIT S1	0	-	0	9	0	UNIT S0	-	2	2	9	18	UNIT 2DC	1	-	1	9	9	UNIT 2DO	-	1	1	9	9	UNIT 2GC	2	-	2	9	18	UNIT 2GO	-	4	4	9	36	UNIT 3GC	1	-	1	9	9	UNIT 3GO	-	1	1	9	9	GARAGE 2DC	2	-	2	9	18	GARAGE S1	2	-	2	9	18	TOTALS	8	12	20	9	216
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UNIT 2GC	2	-	2	9	18																																																																																											
UNIT 2GO	-	4	4	9	36																																																																																											
UNIT 3GC	1	-	1	9	9																																																																																											
UNIT 3GO	-	1	1	9	9																																																																																											
GARAGE 2DC	2	-	2	9	18																																																																																											
GARAGE S1	2	-	2	9	18																																																																																											
TOTALS	8	12	20	9	216																																																																																											

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1 ROOF PLAN - BUILDING TYPE B4
1/8" = 1'-0"

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
JULY 30, 2014

SPRINGS AT ESTERO - BUILDING TYPE B4 BUILDING 11

11101 EVERBLADES PARKWAY
ESTERO, FL 33928

Project No.
214006.02

Sheet Title
**ROOF PLAN -
BUILDING TYPE B4**

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Sheet No.
A1.B.13

GENERAL NOTES

1. ROOFING CONTRACTOR TO PROVIDE VENTILATION IN ACCORDANCE WITH 2010 FLORIDA BUILDING CODE. PROVIDE TILE VENTS NEAR THE RIDGE THAT VENT BOTH THE ATTIC AREA AND THE AIR SPACE BELOW THE ROOF TILES. PROVIDE SOFFIT VENTS WITH INSECT SCREENS AS WELL AS VENTED EAVE CLOSURES FOR THE ROOF TILES. ALL EDGE AND RIDGE CAP TILES TO MATCH ROOF COLOR. SOFFIT VENTS TO MATCH SOFFIT COLOR.
2. PROVIDE AIR Baffle VENT TRAYS IN EACH BAY OF ROOF TRUSSES TO MAINTAIN AIRSPACE FOR VENTING.
3. REFER TO DETAILS FOR SIZE AND TYPE OF VENTING AT EAVES.
4. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR ROOF AND WALL PENETRATION LOCATIONS.
5. REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT AND CONFIGURATION.
6. REFER TO DETAILS FOR TAPING REQUIREMENTS SEE A5.28.
7. REFER TO DETAILS FOR DIVERTER REQUIREMENTS SEE A5.28.
8. PROVIDE GUTTER SPLASH GUARDS AT ALL VALLEYS.
9. PROVIDE A MIN. OF 36" O.C. 60 MIL. SELF-ADHERED ROOFING MEMBRANE FLASHING AT ALL RAKE WALLS, HEAD WALLS, CRICKETS, VALLEYS, HIPS AND RIDGES TYP.
10. ENSURE BLOWN INSULATION IS AT FULL DEPTH REQUIRED TO MEET MINIMUM R-VALUE. CHECK EXTERIOR PERIMETER FOR FULL COVERAGE AND DEPTH.
11. ENSURE ALL SPRINKLER LINES AND HEADS ARE FULLY COVERED BY BLOWN INSULATION TO PROTECT PIPES FROM FREEZING.

ROOF KEYNOTES

1. GUTTER 1: PREFINISHED METAL GUTTER AND DOWNSPOUTS WITH SPLASH GUARDS, UNLESS OTHERWISE NOTED. SEE BUILDING ASSEMBLIES AND COMPONENTS LEGEND ON WALL SECTIONS SHEETS FOR ADDITIONAL INFORMATION.
2. PREFINISHED METAL SHED ENTRY ROOF BELOW.
3. R-30 BLOWN INSULATION AROUND SPRINKLER LINE AND HEAD LOCATION. ENSURE A MINIMUM OF 2'-0" EITHER SIDE OF SPRINKLER LINE AND HEAD IS INSULATED AND THAT FULL DEPTH AND COVERAGE IS PROVIDED.
4. PROVIDE SPLASH GUARDS @ ALL VALLEYS (TYP).

ROOF LEGEND

- DS DOWNSPOUT - CONNECT TO STORM SEWER - REFER TO CIVIL
- 22" x 36" LOCKABLE ATTIC ACCESS PANEL - REFER TO DETAIL 3/A5.31
- DRAFTSTOPPING IN ATTIC AREA. REFER TO FIRE BLOCKING AND DRAFTSTOPPING NOTES ON SHEET 00.20
- 22" x 36" ACCESS DOOR INSTALLED VERTICALLY IN DRAFTSTOPPING
- CONCRETE BARREL ROOF TILES
- PREFINISHED METAL STANDING SEAM ROOF
- ALUMINUM VENTED ROOF TILE

ATTIC VENTILATION SCHEDULE

AREA	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. (1/150) (SQ IN)	RIDGE (60%) (SQ IN)	SOFFIT (40%) (SQ IN)	ACT** (LINEAL FEET)
ATTIC AREA - 1	1292	620	310	310	34
ATTIC AREA - 2	1650	792	396	396	44
ATTIC AREA - 3	2548	1223	611.5	611.5	68
ATTIC AREA - 4	1929	806	403	403	51
ATTIC AREA - 5	2548	1223	611.5	611.5	68
ATTIC AREA - 6	1595	766	383	383	43
ATTIC AREA - 7	1646	790	395	395	44

NOTE:

* REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/150 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT.

** ACTUAL NET FREE VENTED AREAS ARE CALCULATED BY DIVIDING THE TOTAL SQUARE INCHES OF CODE-REQUIRED VENTILATION BY THE NET FREE VENTILATION AREA VALUE FOR CHOSEN VENT.

*** ACTUAL NET FREE VENTED SOFFIT (LOW) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL SOFFIT (CONTINUOUS VENT FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA + 9 SQ IN/FT. MIN. THE ACTUAL SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN SIDES.

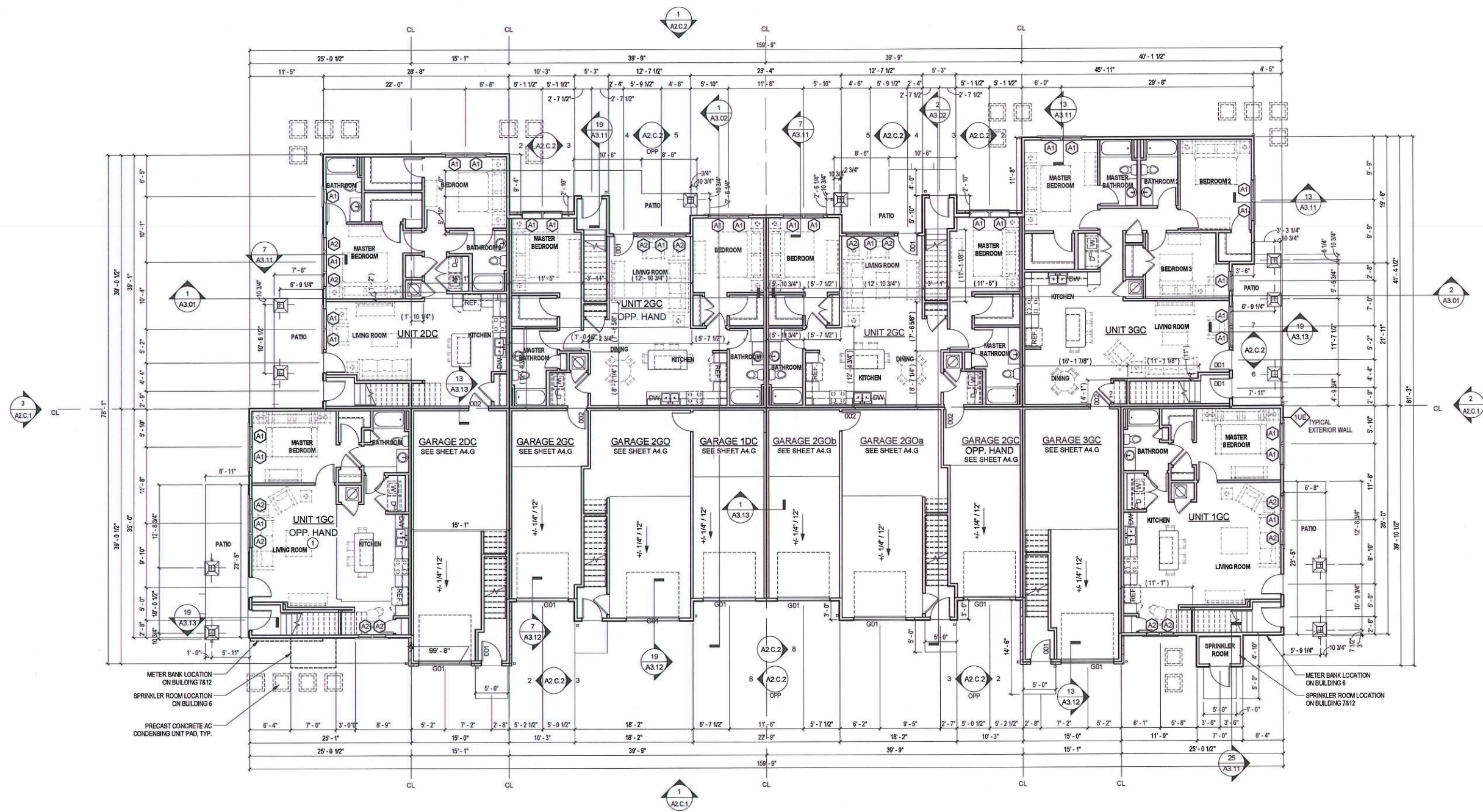
MATERIALS AND COMPONENTS

- ROOF ASSEMBLY 1: CONCRETE BARREL TILE, ROOF BATTENS, ROOF TILE MANUFACTURER APPROVED UNDERLAYMENT, 19/32" OSB ROOF SHEATHING WITH METAL 1" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. SEE STRUCTURAL DRAWINGS FOR CLIPS AND TO MEET 2010 FLORIDA BUILDING CODE, R-30 BLOWN INSULATION, VAPOR RETARDER.
- ROOF ASSEMBLY 2: STANDING METAL SEAM ROOF PANELS, 40 MIL. SELF-ADHERED MEMBRANE, 1/2" OSB ROOF SHEATHING WITH METAL 1" CLIPS, WOOD FRAMING OR PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. SEE STRUCTURAL DRAWINGS FOR CLIPS AND TO MEET 2010 FLORIDA BUILDING CODE, R-30 BLOWN INSULATION, VAPOR RETARDER.
- ROOF ASSEMBLY 4: STANDING SEAM ROOF PANELS, 15# FELT PAPER, 19/32" EXTERIOR GRADE PLYWOOD ROOF SHEATHING WITH METAL 1" CLIPS & PAINTED UNDERSIDE, EXPOSED STAINED CEDAR RAFTERS AT 16" O.C. SEE STRUCTURAL DRAWINGS FOR CLIPS AND TO MEET 2010 FLORIDA BUILDING CODE.

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1 FIRST FLOOR PLAN - BUILDING TYPE B16
1/8" = 1'-0"



NOTE: NORTH ARROW
ORIENTATION VARIES AT
EACH BUILDING, SEE A5.1

Revisions

CONSTRUCTION
DOCUMENTS

Drawing Date
MAY 13, 2015

SPRINGS AT SOUTH
BROADWAY

Rochester, MN

Project No.
215004.01

Sheet Title
FIRST FLOOR PLAN -
BUILDING TYPE B16

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Sheet No.
A1.C.11

GENERAL NOTES

1. 1/8" BUILDING PLANS PROVIDED AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT PLANS FOR COMPLETE DIMENSIONS AND NOTES LOCATED ON A4 SHEETS.
2. ALL GROUND FLOOR PLANS SHALL BE CONSTRUCTED PER FAIR HOUSING REQUIREMENTS & COMPLY WITH ACCESSIBILITY REQUIREMENTS. SEE UNIT PLANS & DEFINITIONS FOR COMPLIANCE.
3. CONDENSER UNIT AND PADS ARE SHOWN AS GRAPHIC REPRESENTATION OF PAD LOCATION. DRAWINGS FOR ACTUAL PAD LOCATION AND FREE AIR SPACE REQUIRED AROUND CONDENSERS.
4. REFER TO MEP DWGS. FOR FIRE ALARM, PULL, CONTROL PANEL, SIGNALS, BELL/HORN LOCATIONS, AND EXIT SIGNS.

5. REFER TO SHEET A6.01 & A6.02 FOR WINDOW AND DOOR SCHEDULES.
6. CONTRACTOR TO FIELD LOCATE END OF BUILDING TO RECEIVE METER BANK. LOCATE ON END OF BUILDING CLOSEST TO POWER COMPANY'S ELECTRICAL TRANSFORMER.
7. FIRE SPRINKLER & ALARM DRAWINGS TO BE PROVIDED BY CONTRACTED FIRE SPRINKLER CONTRACTOR. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO THE SUBMITTAL TO THE COUNTY FOR APPROVAL.
8. PROVIDE 1-HOUR RATED TENANT SEPARATION PARTITION AROUND ALL UNITS AND BLDG. COMMON CORRIDOR AND STAIRS PER UL DESIGN SPECIFICATIONS. SEAL ALL PENETRATIONS IN WALLS TO MATCH RATINGS.

9. PROVIDE WOOD HANDRAIL AND BRACKETS AT INTERIOR STAIRS, WOOD SPECIES AND FINISH AS SELECTED BY OWNER.
10. ALL FIRST AND SECOND FLOOR PARTITIONS FOR THE APARTMENT BUILDINGS EXTEND FROM THE FLOOR TO UNDERSIDE OF THE FLOOR AND OR ROOF ASSEMBLY AT 9'-1 1/8" UNLESS OTHERWISE NOTED.

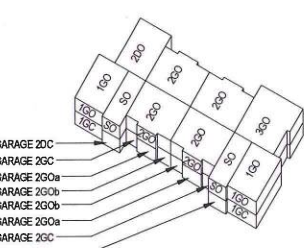
KEYED NOTES

1. ANSI TYPE A UNIT (1GC) IN BUILDING 6

LEGEND

- MECHANICAL EXHAUST VENT
BEARING WALL CENTERLINE TO CENTERLINE
CL CENTERLINE OF TENANT SEPARATION WALLS

BUILDING TYPE B16



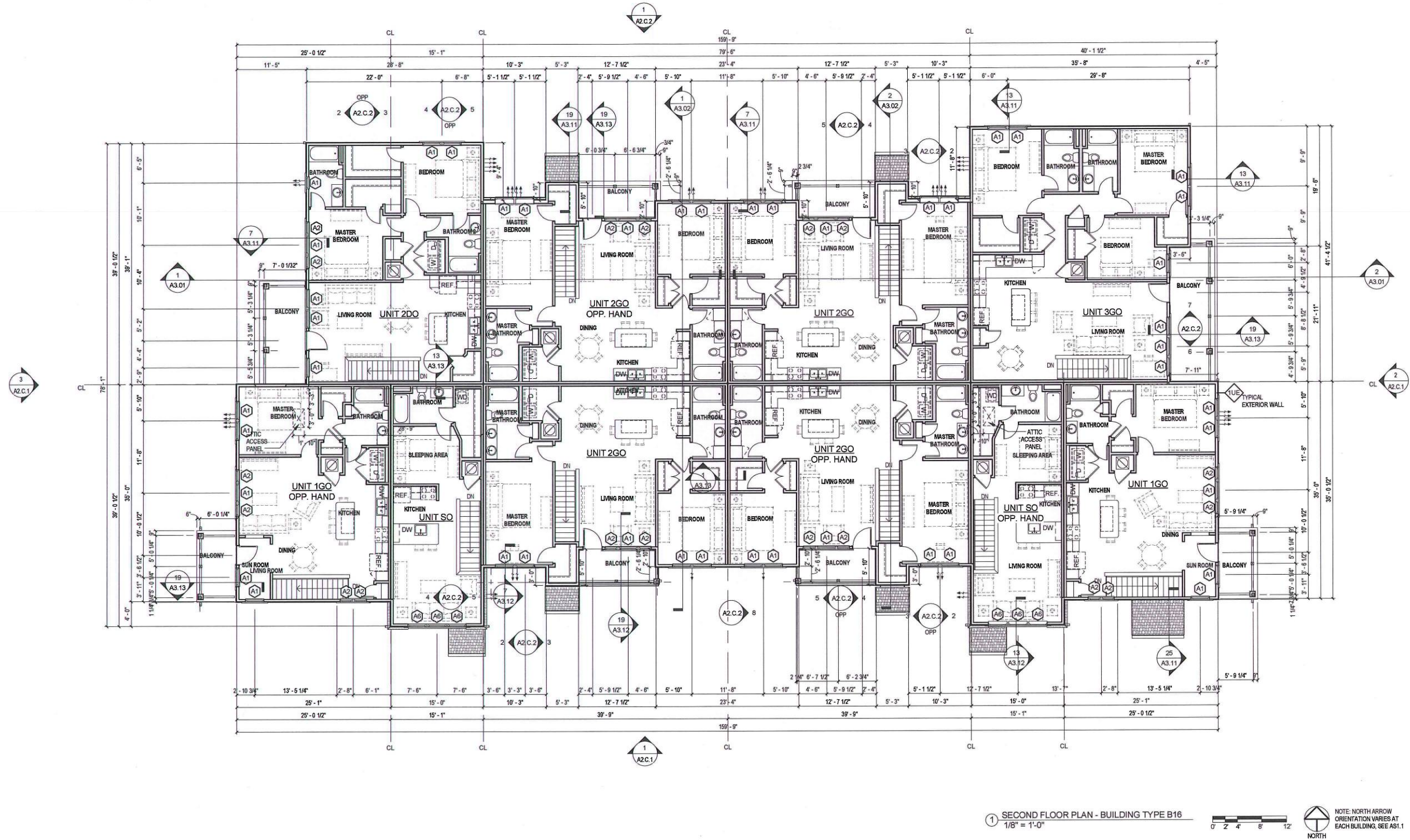
UNIT TYPE MATRIX

	1ST FLOOR	2ND FLOOR	TOTAL BLDG.	NO. OF BLDGS.	UNIT TOTAL
UNIT 1DC	0	0	0	3	0
UNIT 1DO	-	0	0	3	0
UNIT 1GC	2	-	2	3	6
UNIT 1GO	-	2	2	3	6
UNIT S1	0	-	0	3	0
UNIT S0	-	2	2	3	6
UNIT 2DC	1	-	1	3	3
UNIT 2DO	-	1	1	3	3
UNIT 2GC	2	-	2	3	6
UNIT 2GO	-	4	4	3	12
UNIT 3GC	1	-	1	3	3
UNIT 3GO	-	1	1	3	3
TOTALS	6	10	16	3	48

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DOCUMENTS

Drawing Date
MAY 13, 2015

SPRINGS AT SOUTH
BROADWAY

Rochester, MN

Project No.
215004.01

Sheet Title
SECOND FLOOR PLAN
- BUILDING TYPE B16

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Sheet No.
A1.C.12

GENERAL NOTES

- 1/8" BUILDING PLANS PROVIDED AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT PLANS FOR COMPLETE DIMENSIONS AND NOTES LOCATED ON A4 SHEETS.
- ALL GROUND FLOOR PLANS SHALL BE CONSTRUCTED PER FAIR HOUSING REQUIREMENTS & COMPLY WITH ACCESSIBILITY REQUIREMENTS. SEE UNIT PLANS & DEFINITIONS FOR COMPLIANCE.
- CONDENSER UNIT AND PADS ARE SHOWN AS GRAPHIC REPRESENTATION OF PAD LOCATION. COORDINATE WITH MECHANICAL ENGINEERS DRAWINGS FOR ACTUAL PAD LOCATION AND FREE AIR SPACE REQUIRED AROUND CONDENSERS.
- REFER TO MEP DWGS. FOR FIRE ALARM, PULL, CONTROL PANEL, SIGNALS, BELL-HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO SHEET A6.01 & A6.02 FOR WINDOW AND DOOR SCHEDULES.
- CONTRACTOR TO FIELD LOCATE END OF BUILDING TO RECEIVE METER BANK. LOCATE ON END OF BUILDING CLOSEST TO POWER COMPANY'S ELECTRICAL TRANSFORMER.
- FIRE SPRINKLER & ALARM DRAWINGS TO BE PROVIDED BY CONTRACTED FIRE SPRINKLER CONTRACTOR. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO THE SUBMITTAL TO THE COUNTY FOR APPROVAL.
- PROVIDE 1-HOUR RATED TENANT SEPARATION PARTITION AROUND ALL UNITS AND BLDG. COMMON CORRIDOR AND STAIRS PER UL DESIGN SPECIFICATIONS. SEAL ALL PENETRATIONS IN WALLS TO MATCH RATINGS.

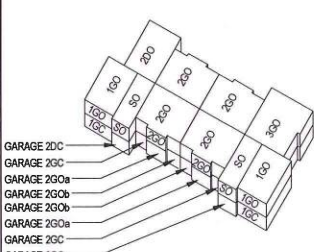
KEYED NOTES

- ANSI TYPE A UNIT (10CA) IN BUILDING 6

LEGEND

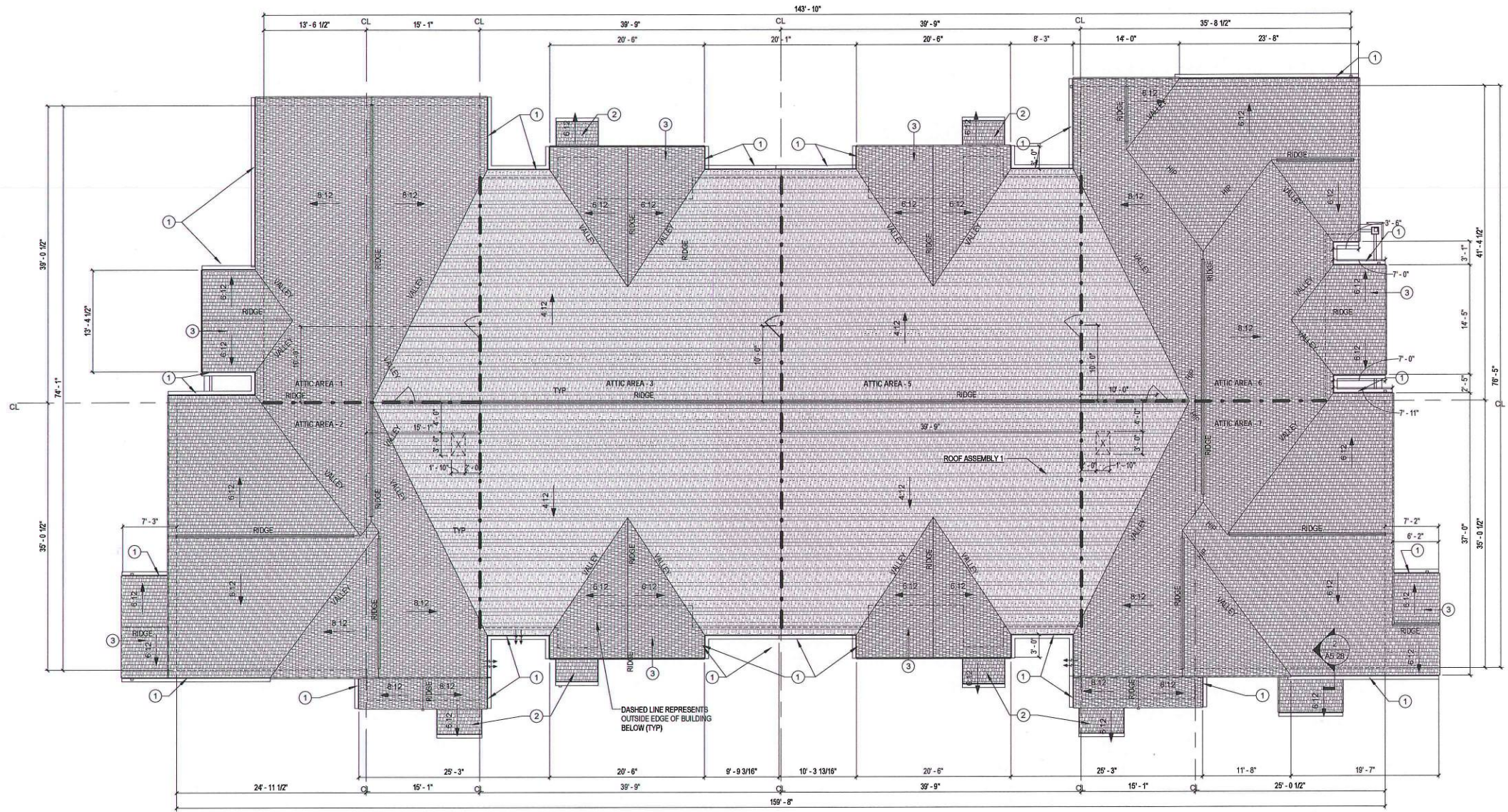
- MECHANICAL EXHAUST VENT
BEARING WALL CENTERLINE TO CENTERLINE
CL
CENTERLINE OF TENANT SEPARATION WALLS

BUILDING TYPE B16



UNIT TYPE MATRIX

	1ST FLOOR	2ND FLOOR	TOTAL BLDG.	NO. OF BLDGS.	UNIT TOTAL
UNIT 1DC	0	0	0	3	0
UNIT 1DO	-	0	0	3	0
UNIT 1GC	2	-	2	3	6
UNIT 1GO	-	2	2	3	6
UNIT 2G	0	-	0	3	0
UNIT 2GO	1	-	1	3	3
UNIT 2GC	-	1	1	3	3
UNIT 2GD	2	-	2	3	6
UNIT 2GO	-	4	4	3	12
UNIT 3GC	1	-	1	3	3
UNIT 3GO	-	1	1	3	3
TOTALS	6	10	16	3	48



1 ROOF PLAN - BUILDING TYPE B16
1/8" = 1'-0"

Revisions

CONSTRUCTION
DOCUMENTS

Drawing Date
MAY 13, 2015

SPRINGS AT SOUTH
BROADWAY

Rochester, MN

Project No.
215004.01

Sheet Title
ROOF PLAN -
BUILDING TYPE B16

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Sheet No.
A1.C.13

GENERAL NOTES

1. ROOFING CONTRACTOR TO PROVIDE VENTILATION IN ACCORDANCE WITH 2009 IBC. PROVIDE GALV. STEEL OR ALUMINUM RIDGE VENTS AND SOFFIT VENTS WITH INSECT SCREEN. RIDGE VENTS TO MATCH ROOF COLOR, SOFFIT VENTS TO MATCH SOFFIT COLOR.
2. PROVIDE AIR BAFFLE VENT TRAYS IN EACH BAY OF ROOF TRUSSES TO MAINTAIN AIRSPACE FOR VENTING.
3. REFER TO WALL SECTIONS FOR SIZE AND TYPE OF VENTING AT EAVES.
4. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR ROOF AND WALL PENETRATION LOCATIONS.
5. REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT AND CONFIGURATION.
6. REFER TO DETAILS FOR TAPING REQUIREMENTS SEE A5.28.
7. REFER TO DETAILS FOR DIVERTER REQUIREMENTS SEE A5.28.
8. PROVIDE GUTTER SPLASH GUARDS AT ALL VALLEYS.
9. PROVIDE A MIN. OF 36" O.C. 60 MIL. SELF-ADHERED ROOFING MEMBRANE FLASHING AT ALL RAKE WALLS, HEAD WALLS, CRICKETS, VALLEYS, HPS AND RIDGES TYP.

10. ENSURE BLOWN INSULATION IS AT FULL DEPTH REQUIRED TO MEET MINIMUM R-VALUE. CHECK EXTERIOR PERIMETER FOR FULL COVERAGE AND DEPTH.
11. ENSURE ALL SPRINKLER LINES AND HEADS ARE FULLY COVERED BY BLOWN INSULATION TO PROTECT PIPES FROM FREEZING.

ROOF KEYNOTES

1. GUTTER 1:
UNLESS OTHERWISE NOTED SEE BUILDING ASSEMBLIES AND COMPONENTS LEGEND ON WALL SECTIONS SHEETS FOR ADDITIONAL INFORMATION.
2. SHED ENTRY ROOF BELOW
3. R-30 BLOWN INSULATION AROUND SPRINKLER LINE AND HEAD LOCATION. ENSURE A MINIMUM OF 2'-0" EITHER SIDE OF SPRINKLER LINE AND HEAD IS INSULATED AND THAT FULL DEPTH AND COVERAGE IS PROVIDED.

ROOF LEGEND

- DS DOWNSPOUT
22" x 36" LOCKABLE ATTIC ACCESS PANEL. REFER TO DETAIL 3/A5.31
- DRAFTSTOPPING IN ATTIC AREA. REFER TO FIRE BLOCKING AND DRAFTSTOPPING NOTES ON SHEET G0.20
- 22" x 36" ACCESS DOOR INSTALLED VERTICALLY IN DRAFTSTOPPING
- SHINGLES
- STANDING SEAM

ATTIC VENTILATION SCHEDULE

AREA	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. (1/150) (SQ IN)	RIDGE (50%) ACT** (LINEAL FEET) REQ*	SOFFIT (50%) ACT** (LINEAL FEET) REQ*
ATTIC AREA - 1	1292	820	310	310
ATTIC AREA - 2	1650	792	396	396
ATTIC AREA - 3	2548	1223	611.5	611.5
ATTIC AREA - 4	Not Placed			
ATTIC AREA - 5	2548	1223	611.5	611.5
ATTIC AREA - 6	1595	766	383	383
ATTIC AREA - 7	1646	790	395	395

NOTE:
* REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/150 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT.
50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND 50% IS REQUIRED THE SOFFIT (LOW). WHEN NO "HIGH/LOW" VENTING IS PROVIDED, THE REQUIRED NET FREE AREA IS 1/150 OF THE ACTUAL AREA AND 100% OF THIS VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.

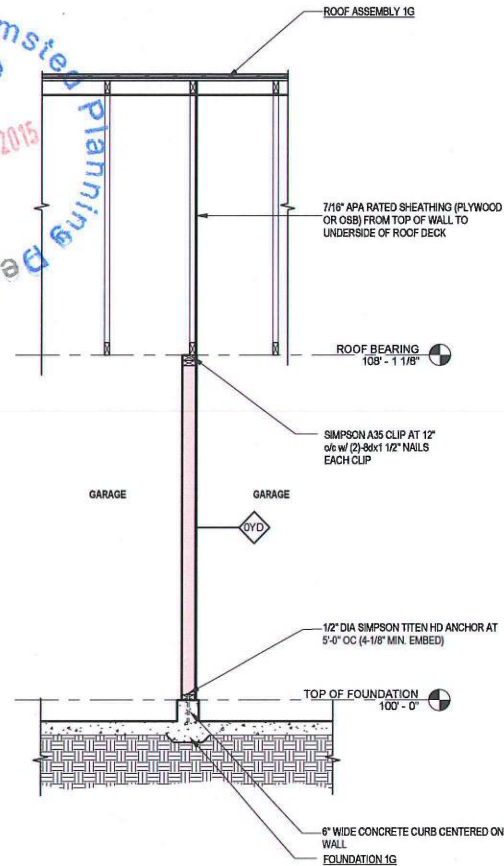
** ACTUAL NET FREE VENTED RIDGE (HIGH) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL RIDGE VENT (FT) BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA = 18.0 SQ IN/FT. MIN.

*** ACTUAL NET FREE VENTED SOFFIT (LOW) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL SOFFIT (CONTINUOUS) VENT (FT) BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA = 9 SQ IN/FT. MIN. THE ACTUAL SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN BAYS.

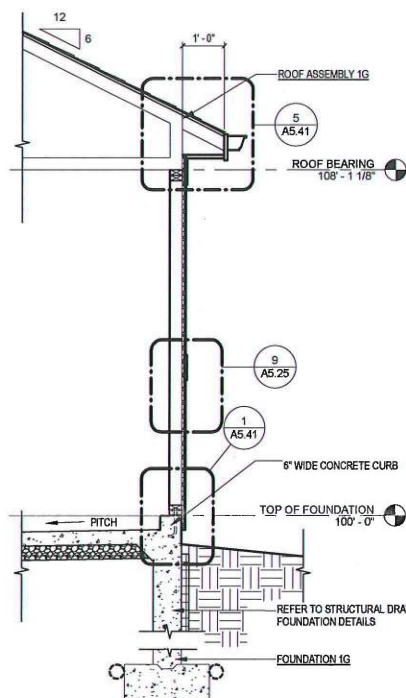
MATERIALS AND COMPONENTS

ROOF ASSEMBLY 1 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, SEE DETAILS FOR ICE & WATER SHIELD LOCATIONS, 1/2" OSB ROOF SHEATHING WITH METAL "T" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C., R-49 BLOWN INSULATION, VAPOR RETARDER

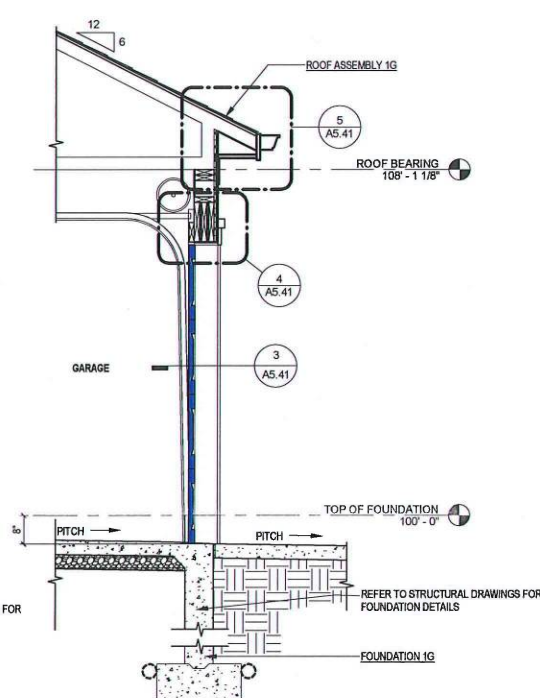
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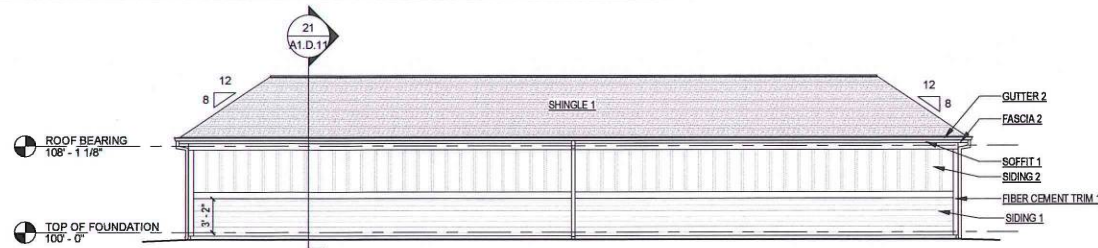
24 WALL SECTION - GARAGE DEMISING WALL
1/2" = 1'-0"



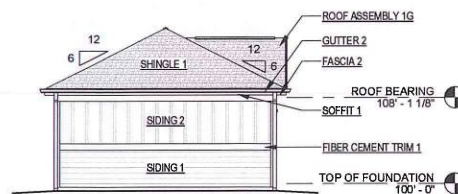
21 WALL SECTION - EAVE AT REAR WALL
1/2" = 1'-0"



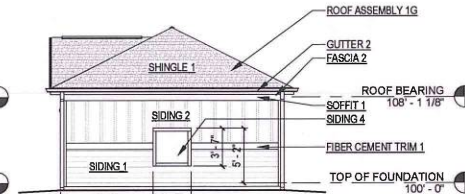
16 WALL SECTION - EAVE AT OVERHEAD DOOR
1/2" = 1'-0"



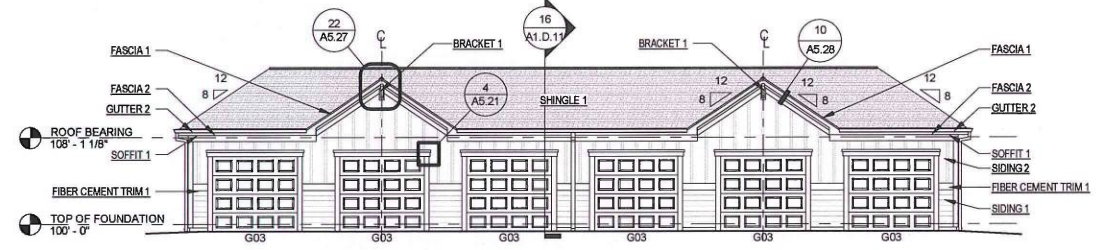
10 REAR ELEVATION - TYPE 6G GARAGE BUILDING
1/8" = 1'-0"



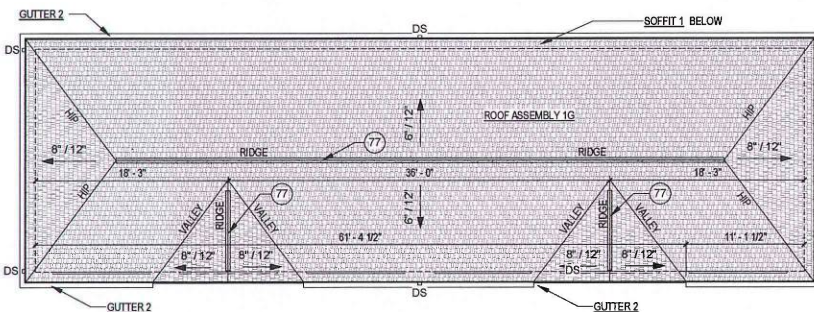
14 LEFT ELEVATION - TYPE 6G GARAGE BUILDING
1/8" = 1'-0"



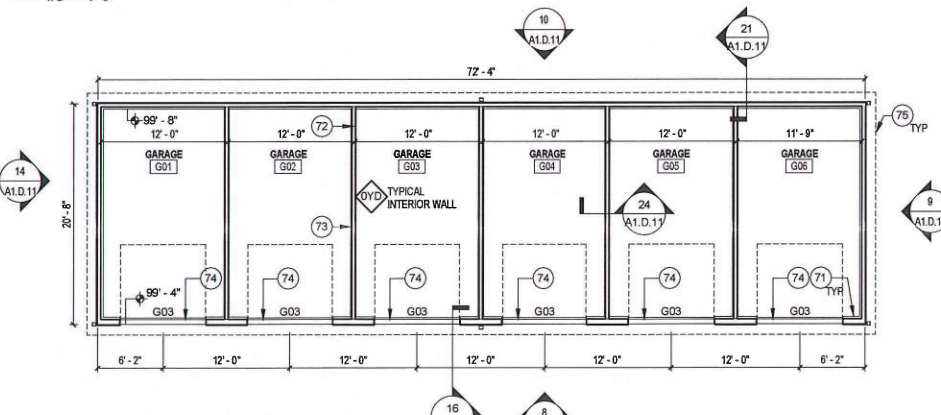
9 RIGHT ELEVATION - TYPE 6G GARAGE BUILDING
1/8" = 1'-0"



8 FRONT ELEVATION - TYPE 6G GARAGE BUILDING
1/8" = 1'-0"



7 ROOF PLAN - TYPE 6G GARAGE BUILDING
1/8" = 1'-0"



6 FIRST FLOOR PLAN - TYPE 6G GARAGE BUILDING
1/8" = 1'-0"

LEGEND

- DS DOWNSPOUT ASSEMBLY
HB HOSE BIB

GENERAL NOTES

- PROVIDE WOOD STUD WALL ON 8" WIDE CONCRETE CURB AT WALL WITH GARAGE DOOR OPENINGS.
UP TO 5'-0"; (2) 2x8; (1) KING STUD, 5'-0" - 8'-0";
(2) 2x12; (2) BRG STUDS; (2) KING STUDS, 8'-4" - 10'-0"; (3) 2x12; (2) BRG STUDS; (3) KING STUDS.
- PROVIDE FIRE EXTINGUISHER AND BRACKET IN EACH UNIT PER REQUIREMENTS OF IFC SECTION 906.

EXTERIOR FINISH COLORS

- GUTTERS / PRE-FINISHED - WHITE
DOWNSPOUTS
SIDING 1 PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"
SIDING 4 PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SOFFIT PRE-FINISHED: WHITE
TRIM/FASCIA PPG PAINT #518-1 "DELICATE WHITE"

MATERIALS AND COMPONENTS

- BRACKET 1 BRACKET MODEL BKT11020 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS
FASCIA 1 4/4 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FASCIA 2 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FIBER CEMENT TRIM 1 HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
FOUNDATION 1G CONCRETE SLAB AND FOUNDATION SYSTEM W/10 MILL VAPOR BARRIER AND COMPACTED STONE BASE AS REQUIRED BY THE SOILS REPORT. PROVIDE ARCHITECTURAL RUBBED CONCRETE FINISH FOR EXPOSED FOUNDATIONS 8" MIN. ABOVE GRADE. SEAL OR STAIN FINISH AS SELECTED BY OWNER - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
GUTTER 2 PREFINISHED 5" ALUMINUM METAL GUTTER & 3" X 4" DOWNSPOUT ASSEMBLY. PROVIDE DIVERSERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
ROOF ASSEMBLY 1G 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, ICE & WATER SHIELD AT EAVES, 1/2" OSB ROOF SHEATHING WITH METAL 1" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. PROVIDE UPLIFT-RESISTANT CONNECTORS AT EACH TRUSS
SHINGLE 1 TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD
SIDING 1 HARDIE PLANK, SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 6.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.
SIDING 2 HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1x3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.
SIDING 4 HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR.
SOFFIT 1 VENTED AND NON VENTED VINYL SOFFIT PANELS, UNIVERSAL TRIPLE.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name: JAMES RASOKE
Signature: JAMES RASOKE
Date: 3/13/15 License #: 42070

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

310 - 680 28TH STREET SE
ROCHESTER, MN 55904

Project No.
215004.01

TYPE 6G GARAGE BUILDING PLANS, ELEVATIONS AND SECTIONS

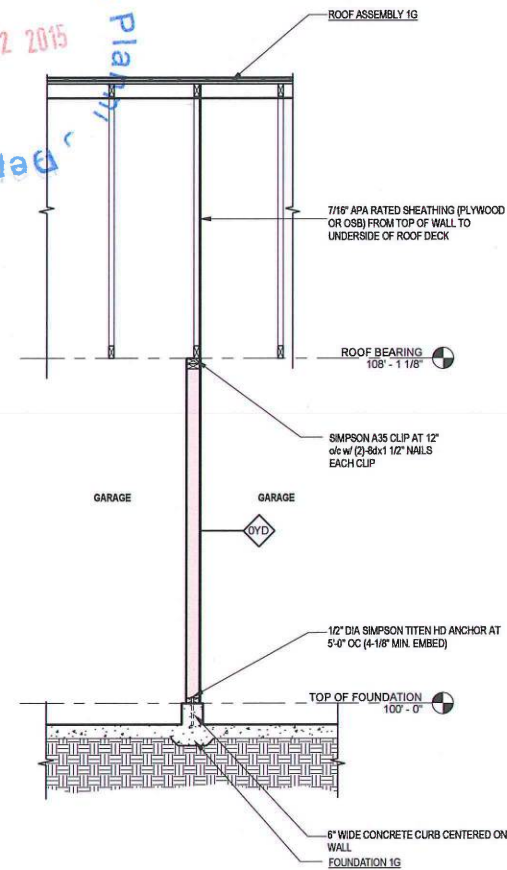
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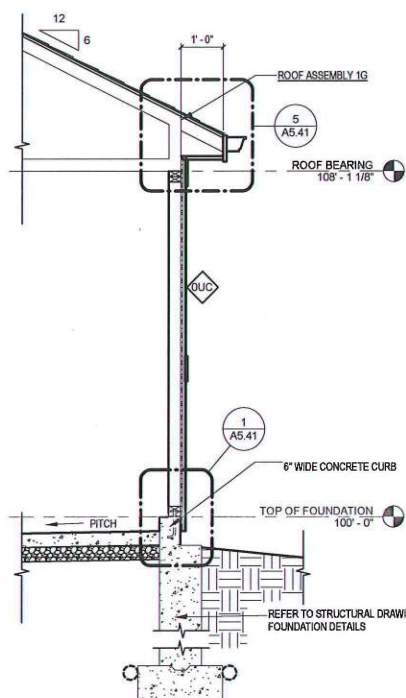
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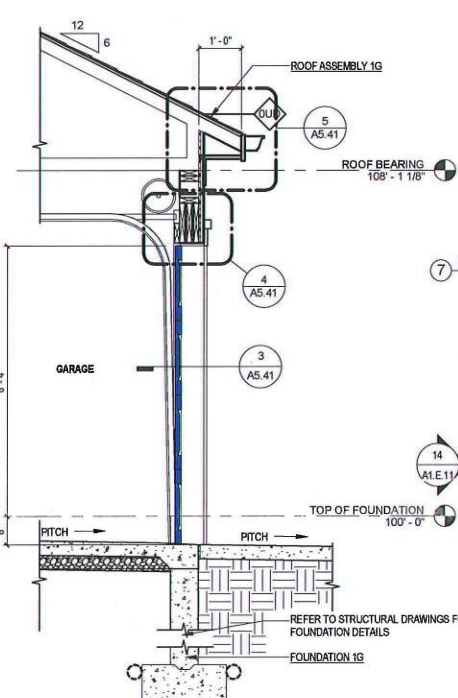
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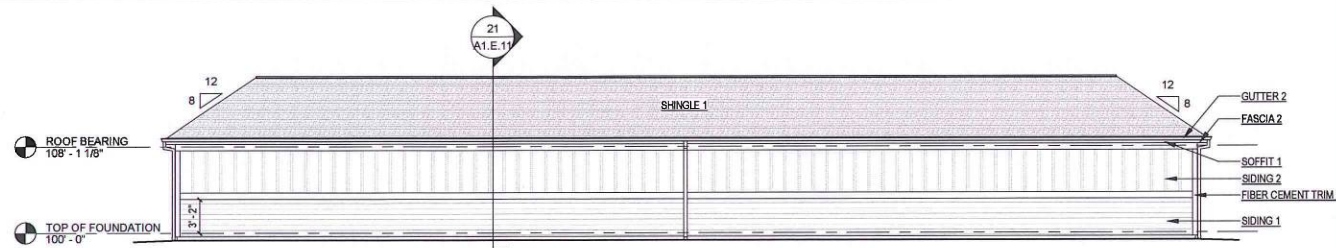
24 WALL SECTION - GARAGE DEMISING WALL
1/2" = 1'-0"



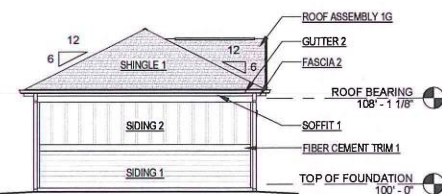
21 WALL SECTION - EAVE AT REAR WALL
1/2" = 1'-0"



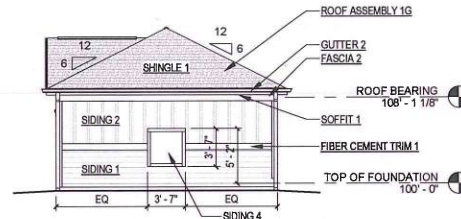
16 WALL SECTION - EAVE AT OVERHEAD DOOR
1/2" = 1'-0"



10 REAR ELEVATION - TYPE 8G GARAGE BUILDING
1/8" = 1'-0"



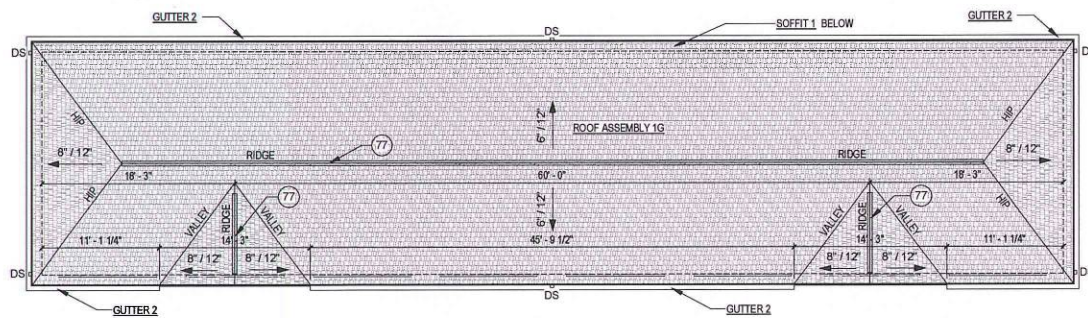
14 LEFT ELEVATION - TYPE 8G GARAGE BUILDING
1/8" = 1'-0"



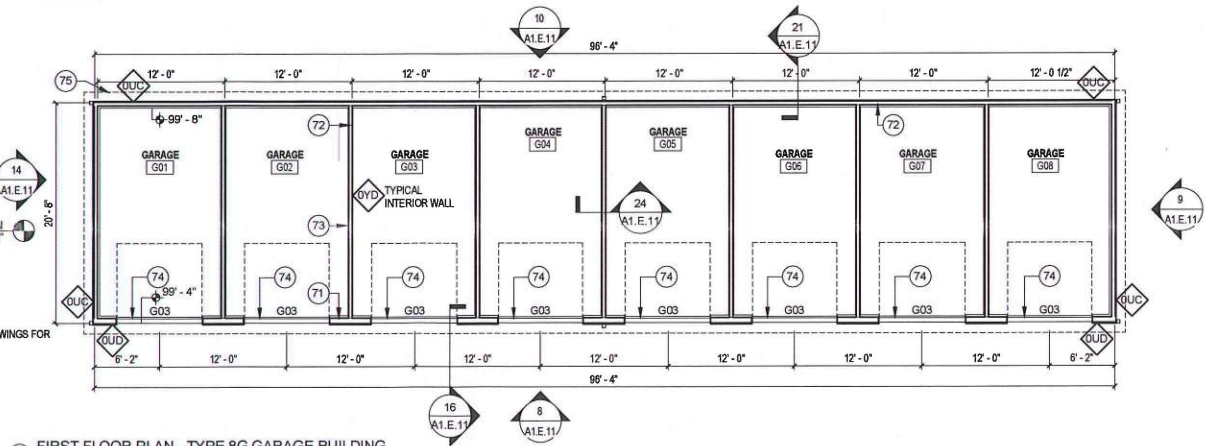
9 RIGHT ELEVATION - TYPE 8G GARAGE BUILDING
1/8" = 1'-0"



8 FRONT ELEVATION - TYPE 8G GARAGE BUILDING
1/8" = 1'-0"



7 ROOF PLAN - TYPE 8G GARAGE BUILDING
1/8" = 1'-0"



6 FIRST FLOOR PLAN - TYPE 8G GARAGE BUILDING
1/8" = 1'-0"

LEGEND

- DS DOWNSPOUT ASSEMBLY
HB HOSE BIB

GENERAL NOTES

- PROVIDE WOOD STUDS AT OPENINGS IN WOOD STUD WALL: UP TO 8'-0" (2) 2X6 (1) BRG STUD (1) KING STUD, 5'-0" - 8'-0" (2) 2X12 (2) BRG STUDS (2) KING STUDS, 8'-1" - 10'-0" (3) 2X12 (2) BRG STUDS (3) KING STUDS.
- PROVIDE FIRE EXTINGUISHER AND BRACKET IN EACH UNIT PER REQUIREMENTS OF IFC SECTION 906.

EXTERIOR FINISH COLORS

GUTTERS / PRE-FINISHED - WHITE	
DOWNSPOUTS	
SIDING 1	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SIDING 2	PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"
SIDING 4	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SOFFIT	PRE-FINISHED - WHITE
TRIM/FASCIA	PPG PAINT #518-1 "DELICATE WHITE"

MATERIALS AND COMPONENTS

BRACKET 1	BRACKET MODEL DWT1120 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS
FASCIA 1	44 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FASCIA 2	5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM FINISH COLOR - REFER TO EXTERIOR FINISH COLORS
FOUNDATION 1G	CONCRETE SLAB AND FOUNDATION SYSTEM w/10 MILL VAPOR BARRIER AND COMPACTED STONE BASE AS REQUIRED BY THE SOILS REPORT. PROVIDE ARCHITECTURAL RUBBED CONCRETE FINISH FOR EXPOSED FOUNDATIONS 8" MIN. ABOVE GRADE. SEAL OR STAIN FINISH AS SELECTED BY OWNER - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
GUTTER 2	PRE-FINISHED 5" ALUMINUM METAL GUTTER & 3" X 4" DOWNSPOUT ASSEMBLY. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
ROOF ASSEMBLY 1G	30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, ICE & WATER SHIELD AT EAVES, 12" OSB ROOF SHEATHING WITH METAL 1" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. PROVIDE UPLIFT-RESISTANT CONNECTORS AT EACH TRUSS
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD
SIDING 1	HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.
SIDING 2	HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1/3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.
SIDING 4	HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR.
SOFFIT 1	VENTED AND NON VENTED VINYL SOFFIT PANELS, UNIVERSAL TRIPLE.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Print Name: JAMES RASOHE
Signature: [Signature]
Date: 3/13/15 License #: 42070

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

310 - 680 28TH STREET SE
ROCHESTER, MN 55904

Project No.
215004.01

Sheet Title

TYPE 8G GARAGE BUILDING PLANS, ELEVATIONS AND SECTIONS

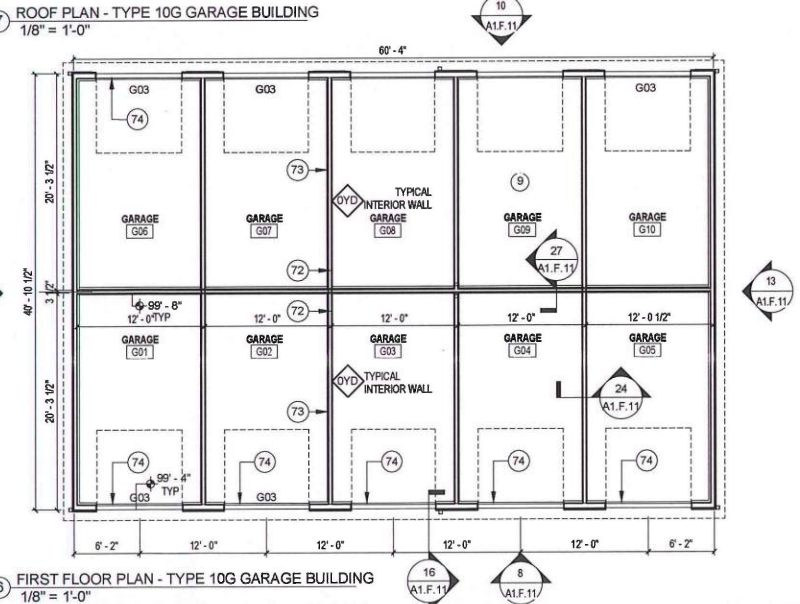
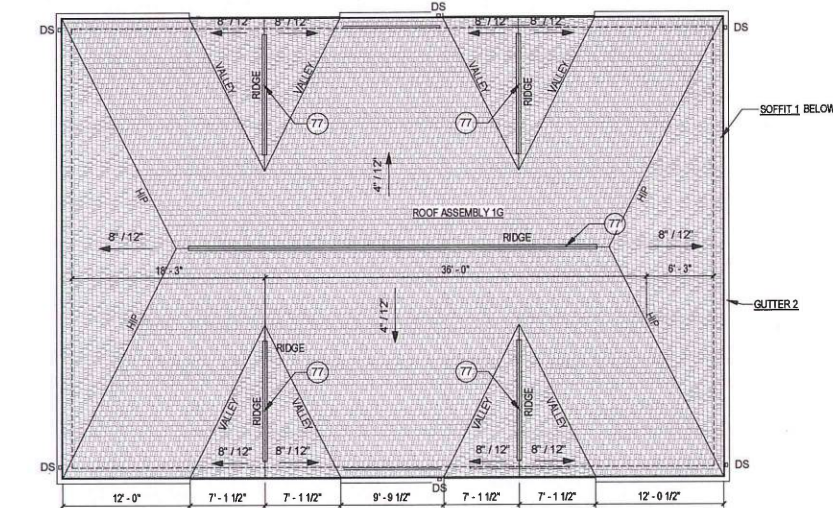
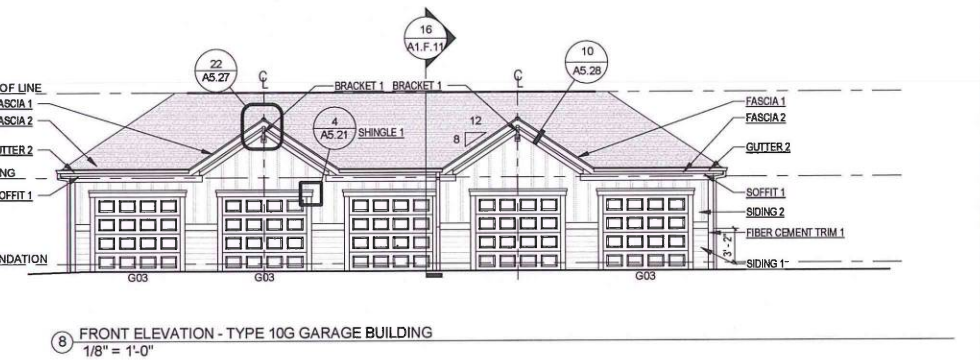
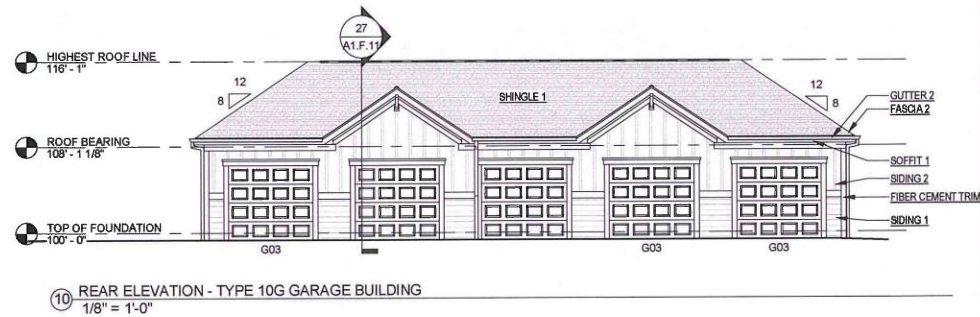
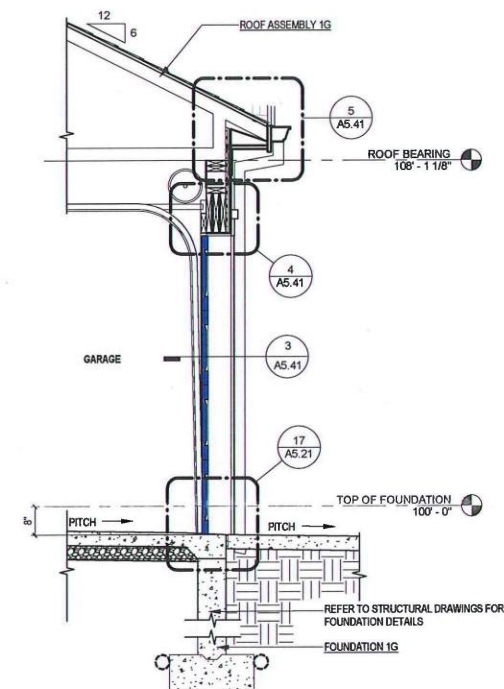
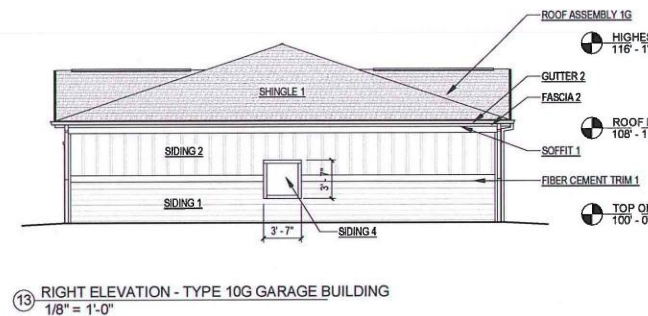
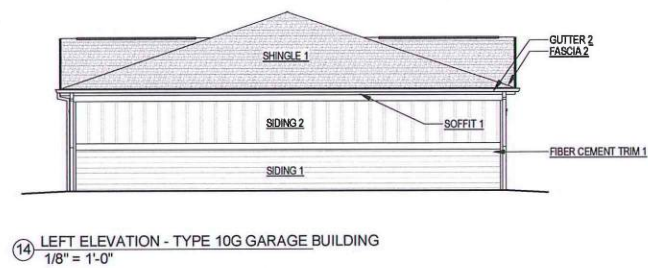
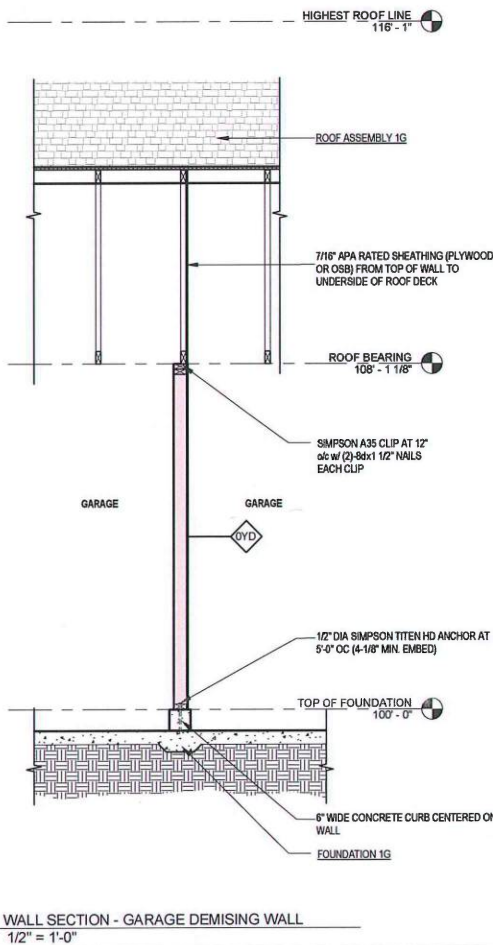
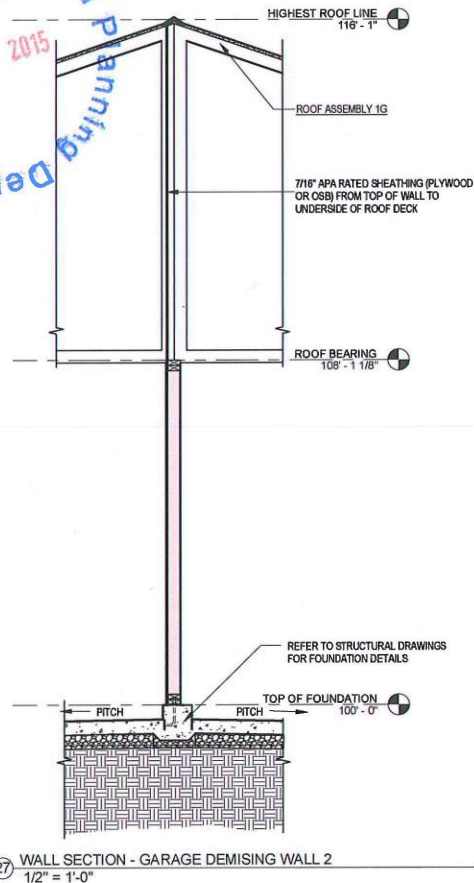
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LEGEND			
DS	DOWNSPOUT ASSEMBLY		
HB	HOSE BIB		
GENERAL NOTES			
1. PROVIDE WOOD HEADERS AT OPENINGS IN WOOD STUD WALL: UP TO 5'-0" (2) 2X8, (1) BRG STUD, (1) KING STUD; 5'-0" - 8'-0" (2) 2X12, (2) BRG STUDS, (2) KING STUDS; 8'-1" - 10'-0" (3) 2X12, (2) BRG STUDS, (3) KING STUDS.			
2. PROVIDE FIRE EXTINGUISHER AND BRACKET IN EACH UNIT PER REQUIREMENTS OF IFC SECTION 906.			
EXTERIOR FINISH COLORS			
GUTTERS / PRE-FINISHED - WHITE			
DOWNSPOUTS			
SIDING 1	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"		
SIDING 2	PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"		
SIDING 4	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"		
SOFFIT	PRE-FINISHED - WHITE		
TRIM/FASCIA	PPG PAINT #518-1 "DELICATE WHITE"		
MATERIALS AND COMPONENTS			
BRACKET 1	BRACKET MODEL BKT11020 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS.		
FASCIA 1	4/4 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.		
FASCIA 2	5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.		
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS.		
FOUNDATION 1G	CONCRETE SLAB AND FOUNDATION SYSTEM w/10 MILL VAPOR BARRIER AND COMPACTED STONE BASE AS REQUIRED BY THE SOILS REPORT. PROVIDE ARCHITECTURAL RUBBED CONCRETE FINISH FOR EXPOSED FOUNDATIONS 6" MIN. ABOVE GRADE. SEAL OR STAIN FINISH AS SELECTED BY OWNER - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.		
GUTTER 2	PRE-FINISHED 5" ALUMINUM METAL GUTTER & 3" X 4" DOWNSPOUT ASSEMBLY. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.		
ROOF ASSEMBLY 1G	30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, ICE & WATER SHIELD AT EAVES, 1/2" OSB ROOF SHEATHING WITH METAL "T" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C., PROVIDE UPLIFT-RESISTANT CONNECTORS AT EACH TRUSS.		
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD.		
SIDING 1	HARDIE PLANK SELECT CEDARMILL FIBER CEMENT LAP SIDING - 8.25" W 7" EXPOSURE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.		
SIDING 2	HARDIE PANEL CEDARMILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1/3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.		
SIDING 4	HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR.		
SOFFIT 1	VENTED AND NON VENTED VINYL SOFFIT PANELS, UNIVERSAL TRIPLE.		
PLAN & SECTION KEYED NOTES			
72	PROVIDE WOOD STUD WALL ON 6" WIDE CONCRETE CURB AT REAR AND SIDE WALLS.		
73	PROVIDE 7/16" OSB SHEATHING FROM BOTTOM OF WALL TO UNDERSIDE OF ROOF DECK - BOTH SIDES.		
74	SLOPE SLAB EDGE 1/2" AT GARAGE DOOR.		
77	RIDGE VENTS, MATCH SHINGLES.		
ATTIC VENTILATION SCHEDULE			
Area	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. (1/300) (SQ IN)	
ATTIC AREA - MAIN	2469	1186	
RIDGE (50%) (SQ IN)		SOFFIT (50%) (SQ IN)	
REQ *	ACT **	REQ *	ACT ***
593	33 LINEAL FT.	593	66 LINEAL FT.
NOTE:			
* REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/300 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT. 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH AND 50% IS REQUIRED THE SOFFIT (LOW). WHEN NO "HIGH/LOW" VENTING IS PROVIDED, THE REQUIRED NET FREE AREA IS 1/150 OF THE ACTUAL AREA AND 100% OF THIS VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.			
** ACTUAL NET FREE VENTED RIDGE (HIGH) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL RIDGE VENT (FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA = 144 SQ IN/FT. MIN.			
*** ACTUAL NET FREE VENTED SOFFIT (LOW) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL SOFFIT (CONTINUOUS VENT) (FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA = 9 SQ IN/FT. MIN. THE ACTUAL SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN BAYS.			

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CONTINENTAL PROPERTIES
CONTINENTAL 326 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
262.502.5500 • FAX 262.502.5522

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: JAMES RASCHKE
Signature: [Signature]
Date: 3/13/15 License #: 42070

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

310 - 680 28TH STREET SE
ROCHESTER, MN 55904

Project No.
215004.01

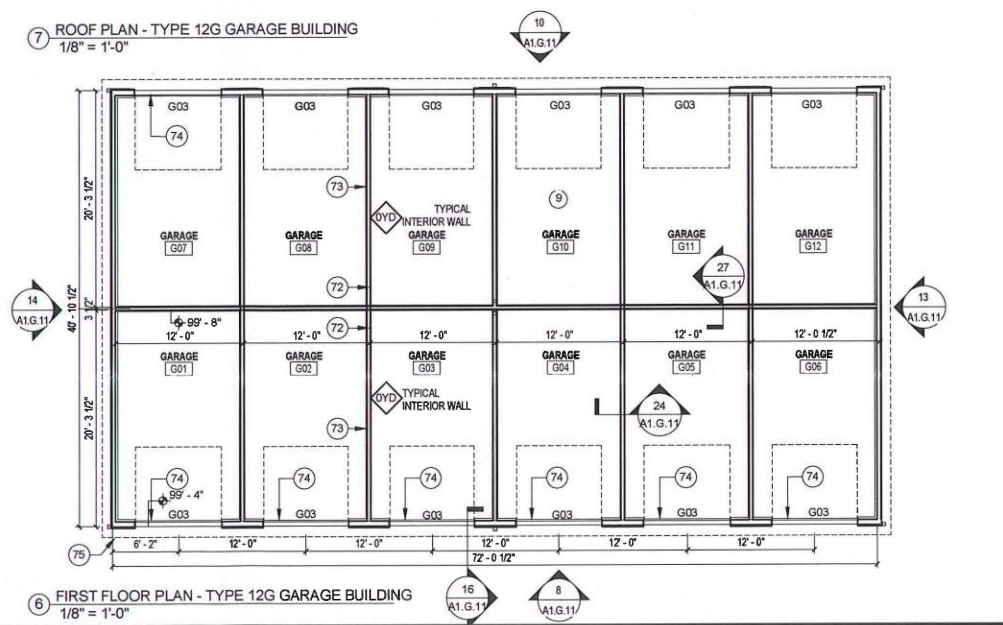
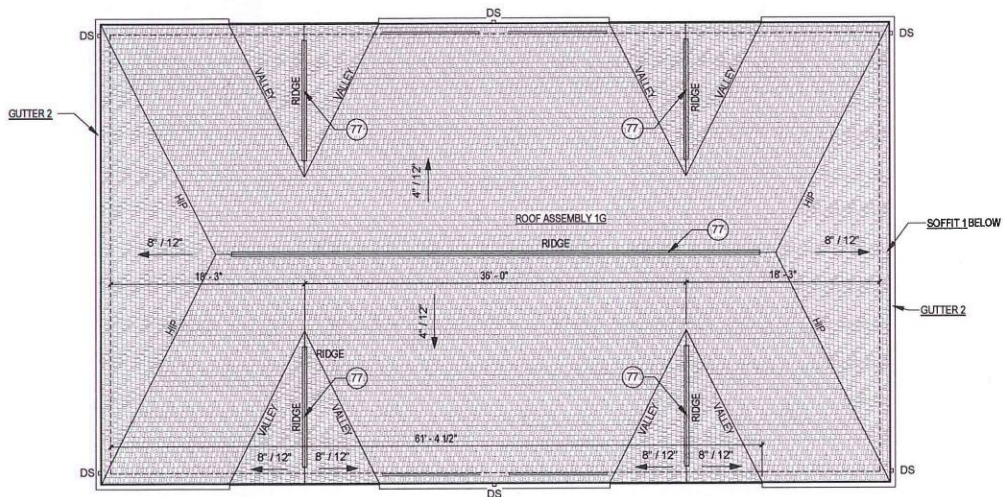
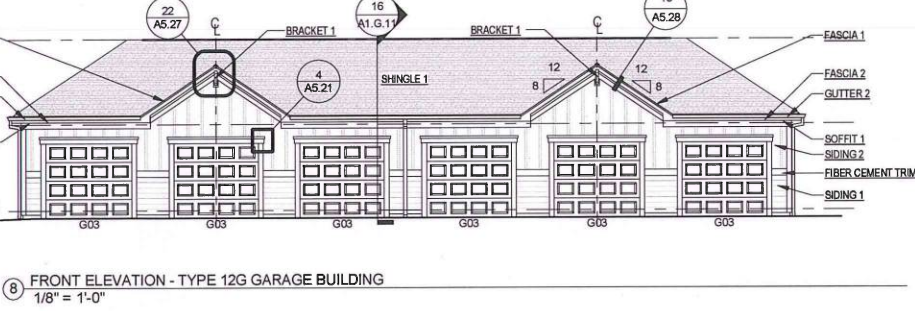
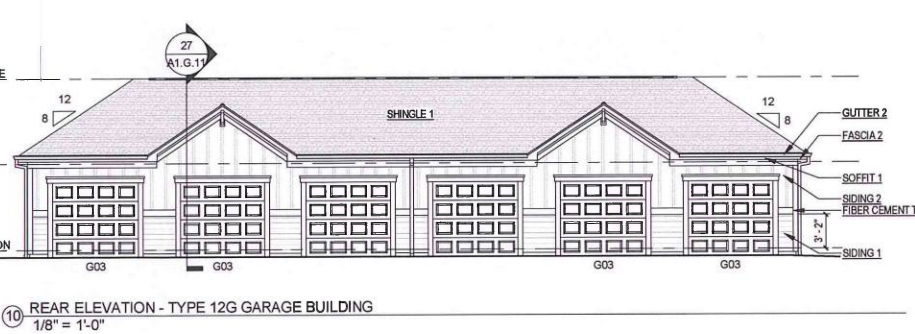
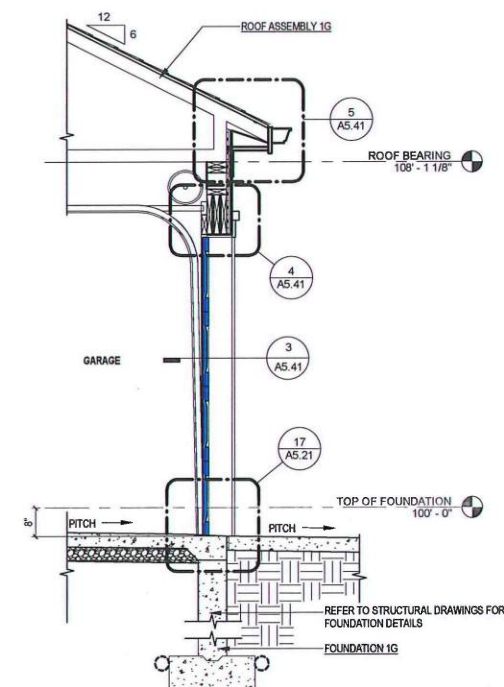
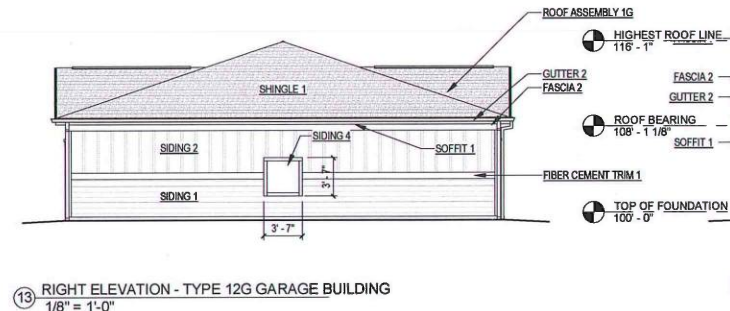
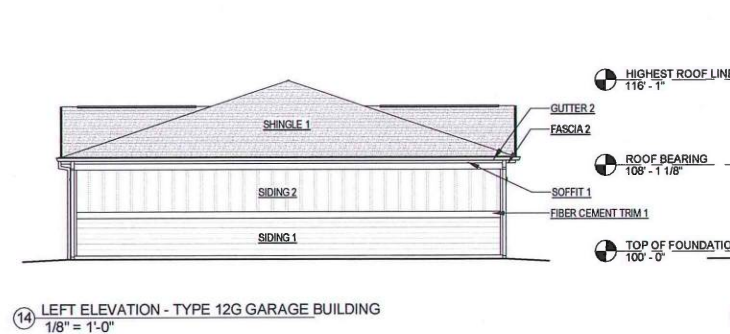
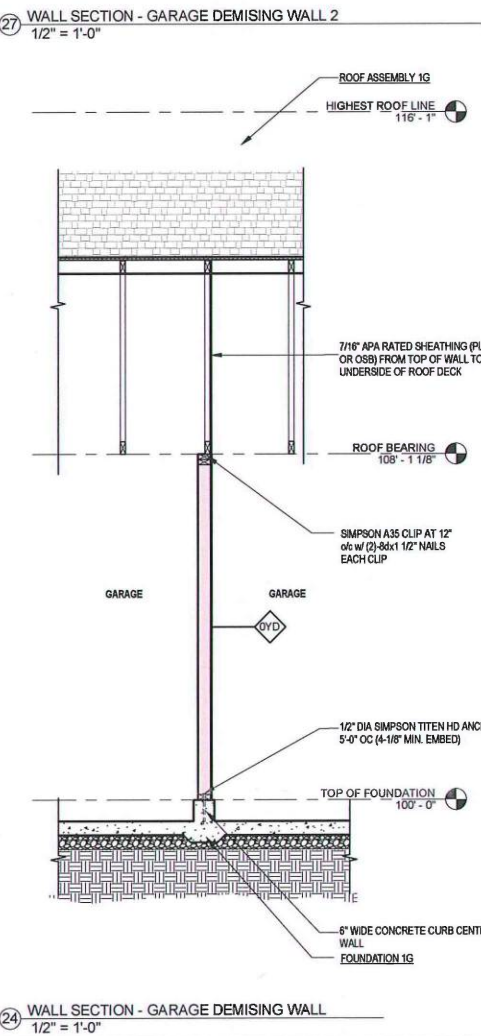
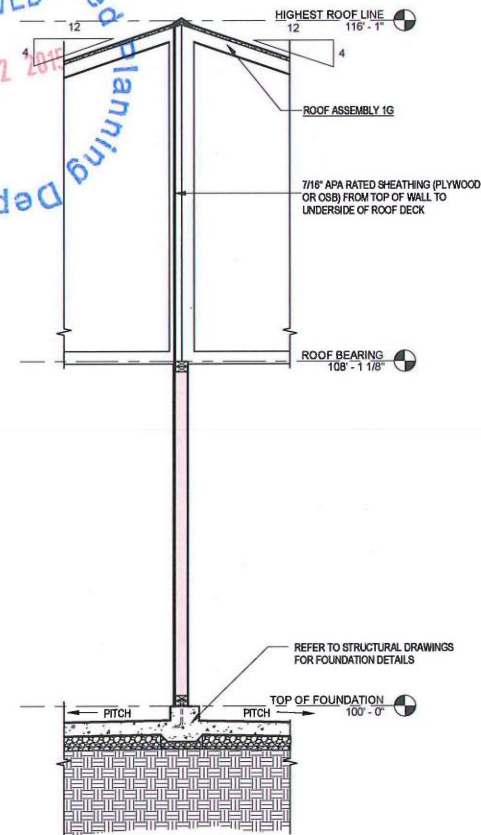
Sheet Title
TYPE 10G GARAGE BUILDING PLANS, ELEVATIONS AND SECTIONS

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LEGEND			
DS	DOWNSPOUT ASSEMBLY		
HB	HOSE BIB		
GENERAL NOTES			
1. PROVIDE WOOD HEADERS AT OPENINGS IN WOOD STUD WALL: UP TO 5'-0". (2) 2X8, (1) BRG STUD, (1) KING STUD, 5'-0" - 8'-0"; (2) 2X12, (2) BRG STUD, (2) KING STUD, 8'-0" - 10'-0"; (3) 2X12, (2) BRG STUD, (3) KING STUDS.			
2. PROVIDE FIRE EXTINGUISHER AND BRACKET IN EACH UNIT PER REQUIREMENTS OF IFC SECTION 906.			
EXTERIOR FINISH COLORS			
GUTTERS / PRE-FINISHED - WHITE			
DOWNSPOUTS			
SIDING 1	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"		
SIDING 2	PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"		
SIDING 4	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"		
SOFFIT	PRE-FINISHED: WHITE		
TRIM/FASCIA	PPG PAINT #518-1 "DELICATE WHITE"		
MATERIALS AND COMPONENTS			
BRACKET 1	BRACKET MODEL BK11120 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS.		
FASCIA 1	4/4 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS		
FASCIA 2	5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS		
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/FINISH COLOR - REFER TO EXTERIOR FINISH COLORS.		
FOUNDATION 1G	CONCRETE SLAB AND FOUNDATION SYSTEM w/10 MILL VAPOR BARRIER AND COMPACTED STONE BASE AS REQUIRED BY THE SOILS REPORT. PROVIDE ARCHITECTURAL RUBBED CONCRETE FINISH FOR EXPOSED FOUNDATIONS 8" MIN. ABOVE GRADE. SEAL OR STAIN FINISH AS SELECTED BY OWNER - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.		
GUTTER 2	PRE-FINISHED 5" ALUMINUM METAL GUTTER & 3" X 4" DOWNSPOUT ASSEMBLY. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.		
ROOF ASSEMBLY 1G	30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, ICE & WATER SHIELD AT EAVES, 1/2" OSB ROOF SHEATHING WITH METAL 1" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. PROVIDE UPLIFT-RESISTANT CONNECTORS AT EACH TRUSS		
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD		
SIDING 1	HARDIE PLANK SELECT CEDARMILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.		
SIDING 2	HARDIE PANEL CEDARMILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1X3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.		
SIDING 4	HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR.		
SOFFIT 1	VENTED AND NON VENTED VINYL SOFFIT PANELS, UNIVERSAL TRIPLE.		
PLAN & SECTION KEYED NOTES			
72	PROVIDE WOOD STUD WALL ON 6" WIDE CONCRETE CURB AT REAR AND SIDE WALLS.		
73	PROVIDE 7/16" OSB SHEATHING FROM BOTTOM OF WALL TO UNDERSIDE OF ROOF DECK - BOTH SIDES.		
74	SLOPE SLAB EDGE 1/2" AT GARAGE DOOR.		
75	DASHED LINE INDICATES ROOF OVERHANG.		
77	RIDGE VENTS, MATCH SHINGLES.		
ATTIC VENTILATION SCHEDULE			
Area	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. (1/300) (SQ IN)	
ATTIC AREA - MAIN	2879	1382	
RIDGE (50%) (SQ IN)		SOFFIT (50%) (SQ IN)	
REQ. *	ACT. **	REQ. *	ACT. ***
691	39 LINEAL FT.	691	77 LINEAL FT.
NOTE:			
* REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/300 AND MULTIPLYING SLAB BY 1/4 SQ IN/SQ FT. 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN NO "HIGH/LOW" VENTING IS PROVIDED, THE REQUIRED NET FREE AREA IS 1/150 OF THE ACTUAL AREA AND 100% OF THIS VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.			
** ACTUAL NET FREE VENTED RIDGE (HIGH) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL RIDGE VENT (FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA = 1/3 SQ IN/FT. MIN.			
*** ACTUAL NET FREE VENTED SOFFIT (LOW) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL SOFFIT (CONTINUOUS VENT) (FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA = 9 SQ IN/FT. MIN. THE ACTUAL SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN EAVES.			

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CONTINENTAL PROPERTIES
CONTINENTAL 326 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: JAMES RASCHKE
Signature: [Signature]
Date: 3/13/15 License #: 42070

Revisions

Construction Documents

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

310 - 680 28TH STREET SE
ROCHESTER, MN 55904

Project No.
215004.01

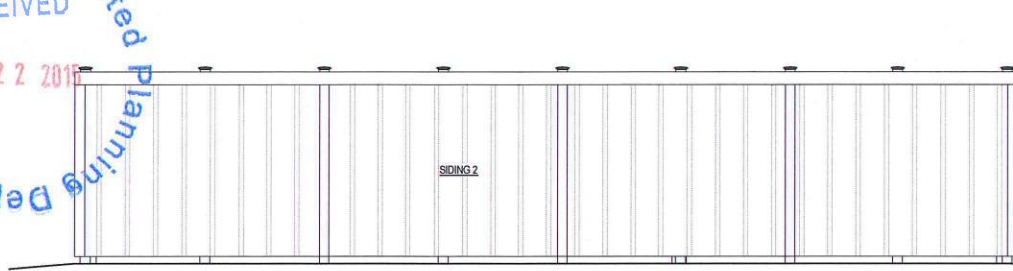
Sheet Title
TYPE 12G GARAGE BUILDING PLANS, ELEVATIONS AND SECTIONS

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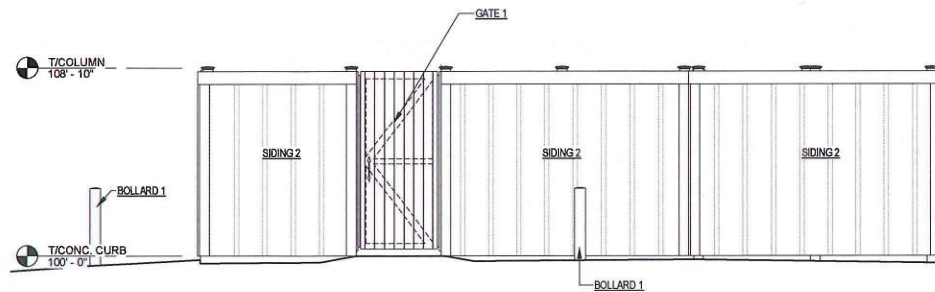
44 East Millin Street, Suite 700, Madison, Wisconsin 53703
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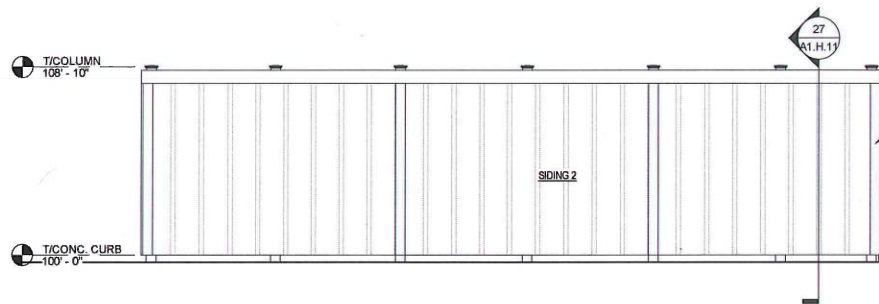
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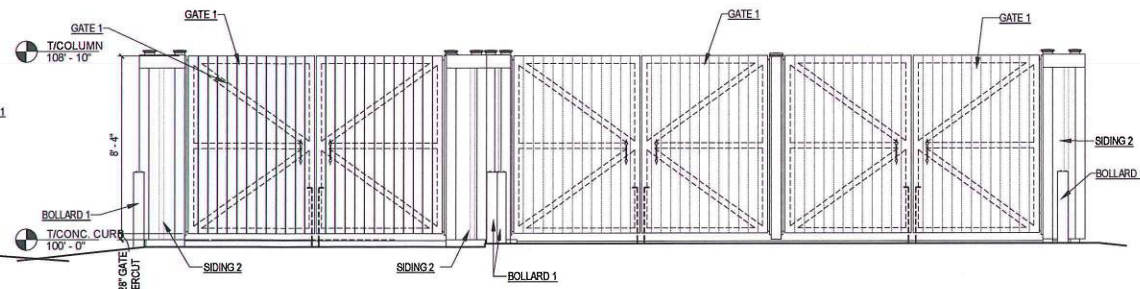
29 REAR ELEVATION - TRASH COMPACTOR
1/4" = 1'-0"



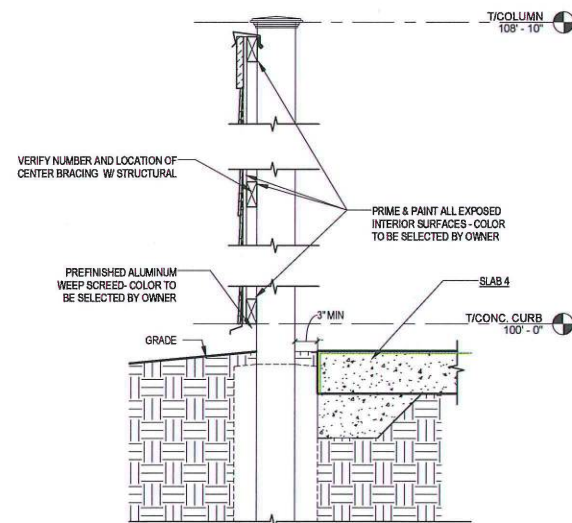
17 RIGHT ELEVATION - TRASH COMPACTOR
1/4" = 1'-0"



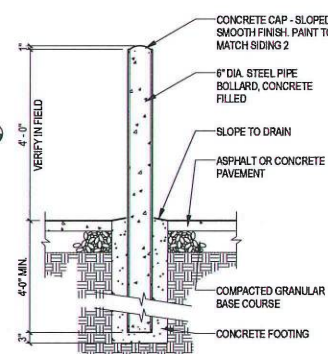
28 LEFT ELEVATION - TRASH COMPACTOR
1/4" = 1'-0"



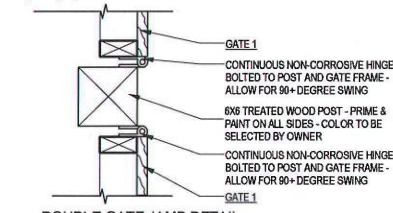
16 FRONT ELEVATION - TRASH COMPACTOR
1/4" = 1'-0"



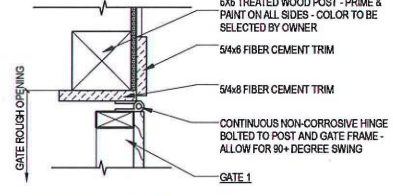
27 WALL SECTION - STONE VENEER OVER CMU
1" = 1'-0"



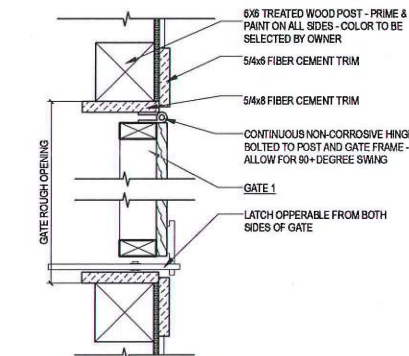
21 BOLLARD DETAIL
1/2" = 1'-0"



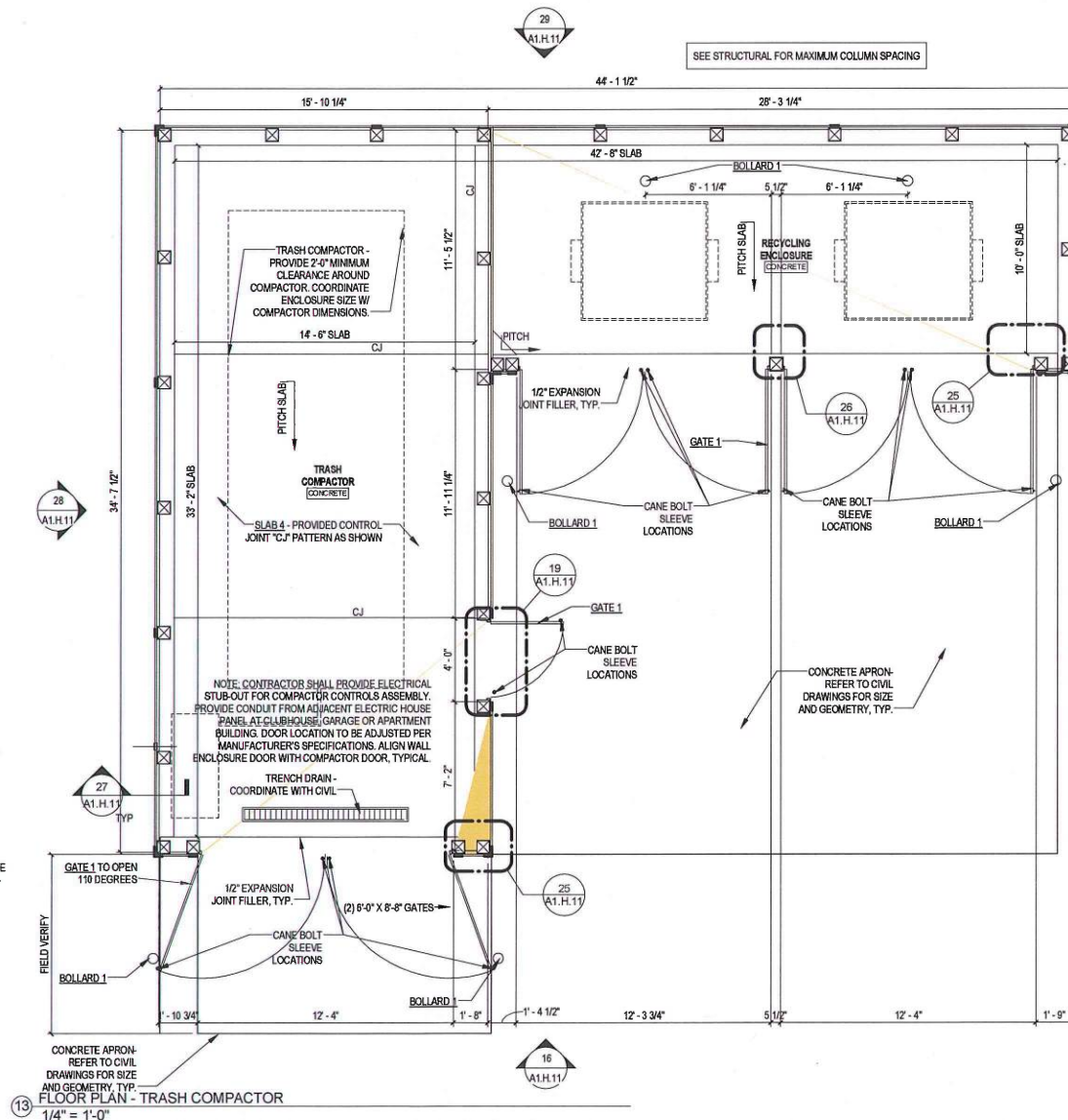
26 DOUBLE GATE JAMB DETAIL
1 1/2" = 1'-0"



25 GATE JAMB DETAIL
1 1/2" = 1'-0"



19 PEDESTRIAN GATE DETAIL
1 1/2" = 1'-0"



13 FLOOR PLAN - TRASH COMPACTOR
1/4" = 1'-0"

LEGEND

HB HOSE BIB
CJ CONTROL JOINT

GENERAL NOTES

- COORDINATE TRASH COMPACTOR EQUIPMENT INSTALLATION AND ELECTRICAL CONNECTIONS WITH OWNER AND VENDOR
- CONTRACTOR TO PROVIDE ELECTRICAL STUB-OUT FOR COMPACTOR CONTROLS ASSEMBLY. PROVIDE CONDUIT FROM ADJACENT HOUSE PANEL AT GARAGE OR APARTMENT BUILDING. DOOR LOCATION TO BE ADJUSTED PER MANUFACTURER'S SPECIFICATIONS. ALIGN WALL ENCLOSURE DOOR W/ COMPACTOR DOOR.
- SAW CUT CONTROL JOINTS IN CONCRETE APRON AND CONCRETE SLAB WITHIN 24 HOURS. COORDINATE SPACING IN FIELD
- PROVIDE STEEL DRAIN GRATE OVER TRENCH DRAIN. VERIFY WITH CIVIL

EXTERIOR FINISH COLORS

POSTS BLACK
SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"
TRIM PPG PAINT #518-1 "DELICATE WHITE"

MATERIALS AND COMPONENTS

BOLLARD 1	6" DIAMETER STEEL PIPE BOLLARD - REFER TO BOLLARD DETAIL - PAINTED - COLOR: BLACK
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PRE-FINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
GATE 1	(SINGLE OR DOUBLE - SEE ELEVATIONS FOR DIMENSIONS) 5/4 X 8 ROUGH SAWN CEDAR SLATS - PRIME AND PAINT - COLOR: "SAIL CLOTH", 2X CEDAR FRAME - PRIME AND PAINT - COLOR: "SAIL CLOTH", CONTINUOUS NON-CORROSIVE HINGE BOLTED TO POST AND GATE FRAME - ALLOW FOR 90+ DEGREE SWING - PRIME AND PAINT - COLOR: TO MATCH GATE
SIDING 2	HARDIE PANEL CEDAR MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1/3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota
Print Name: **JAMES RASOKE**
Signature: **James Rasoke**
Date: **3/13/15** License #: **42070**

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

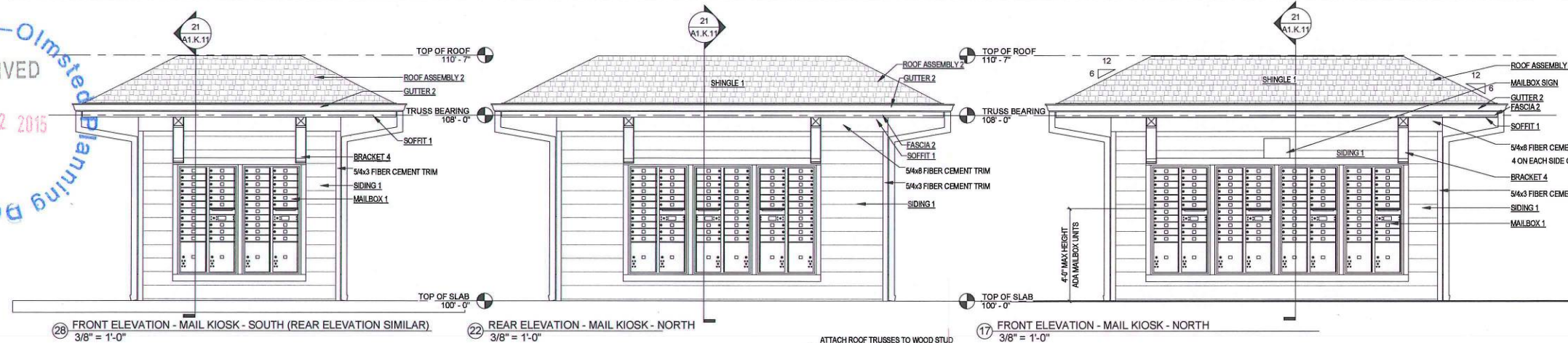
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Project No.
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TRASH ENCLOSURE PLANS, ELEVATIONS AND DETAILS

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GENERAL NOTES

1. PROVIDE (1) MAIL KIOSK STRUCTURE. REFER TO CIVIL DRAWINGS FOR LOCATION.
2. ALL MAILBOXES DEDICATED TO FIRST FLOOR UNITS SHALL BE LOCATED 48" AFF MAX.
3. PROVIDE 280 MAILBOXES

EXTERIOR FINISH COLORS

BRACKET 4	PPG PAINT #518-1 "DELICATE WHITE"
FASCIA 2	PRE-FINISHED - WHITE
GUTTERS / DOWNSPOUTS	PRE-FINISHED - WHITE
SIDING 1	PRE-FINISHED - JAMES HARDIE "AUTUMN TAN"
TRIM	PPG PAINT #518-1 "DELICATE WHITE"

MATERIALS AND COMPONENTS

BRACKET 4	FYPON DECORATIVE BRACKET MODEL BKT20X24S, OR ARCHITECT APPROVED EQUAL. PAINTED TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
FASCIA 2	5/4" X 8" PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
GUTTER 2	PRE-FINISHED 5" ALUMINUM METAL GUTTER & 3" X 4" DOWNSPOUT ASSEMBLY. PROVIDE DIVERSERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
MAILBOX 1	SALSURY 3700 SERIES 4C HORIZONTAL FRONT LOADING MAILBOX. MODEL NUMBER 37160-20AFU
MAILBOX SIGN	MAIL BOX SIGN TO BE SELECTED BY OWNER, INSTALLED BY GENERAL CONTRACTOR
ROOF ASSEMBLY 2	30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, SEE DETAILS FOR ICE & WATER SHIELD LOCATIONS, 1/2" OSB ROOF SHEATHING WITH METAL 1" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C.
ROOF EDGE TRIM 1	PRE-FINISHED METAL TRIM, TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD
SIDING 1	HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8"25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SLAB 1	4" REINFORCED CONCRETE SLAB ON GRADE W/ FROST PROOF FOOTINGS ON 10 MIL VAPOR BARRIER AND COMPACTED STONE BASE AS REQUIRED BY SOILS REPORT - REFER TO STRUCTURAL DRAWINGS FOR FOOTING LAYOUT AND DESIGN - BROOM FINISH.
SOFFIT 1	VENTED AND NON VENTED VINYL SOFFIT PANELS, UNIVERSAL TRIPLE
WASTE CONTAINER	AF FLORENCE VERSATILE TRASH/RECYCLING BIN OR ARCHITECT APPROVED EQUAL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota
Print Name: **JAMES RASOKE**
Signature: **James Rasoke**
Date: **3/13/15** License #: **42070**

Revisions

CONSTRUCTION DOCUMENTS

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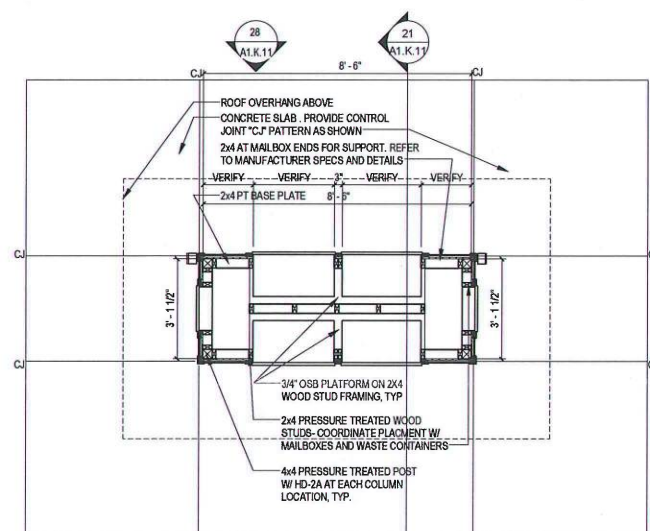
MAIL KIOSK PLANS, ELEVATIONS AND SECTIONS

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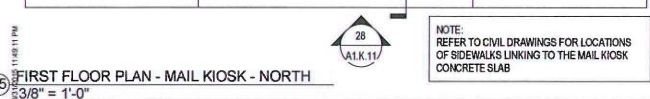
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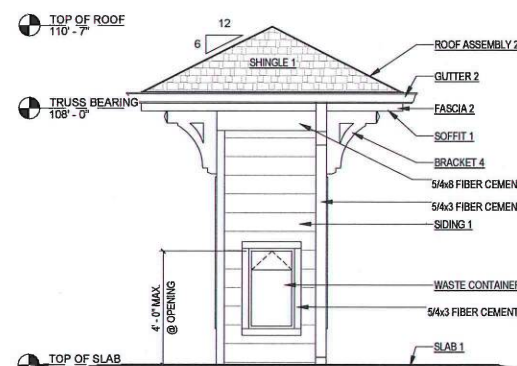
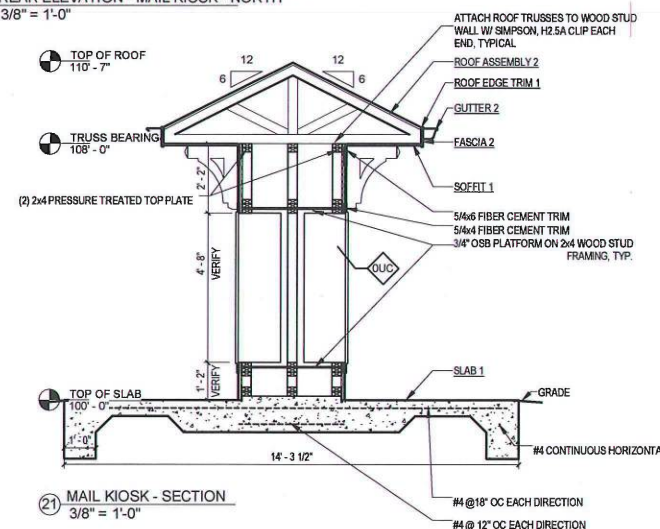
26 ROOF PLAN - MAIL KIOSK - SOUTH
3/8" = 1'-0"



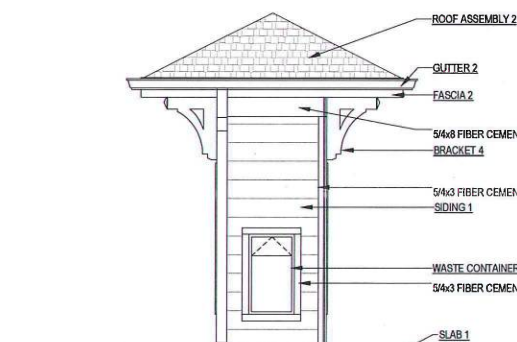
25 FIRST FLOOR PLAN - MAIL KIOSK - NORTH
3/8" = 1'-0"



22 REAR ELEVATION - MAIL KIOSK - NORTH
3/8" = 1'-0"

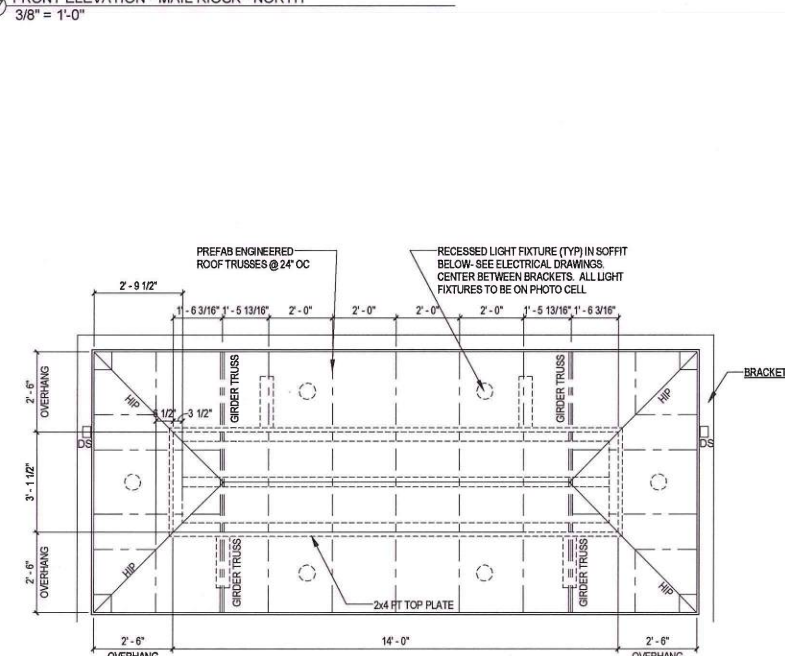


20 RIGHT SIDE ELEVATION - MAIL KIOSK
3/8" = 1'-0"

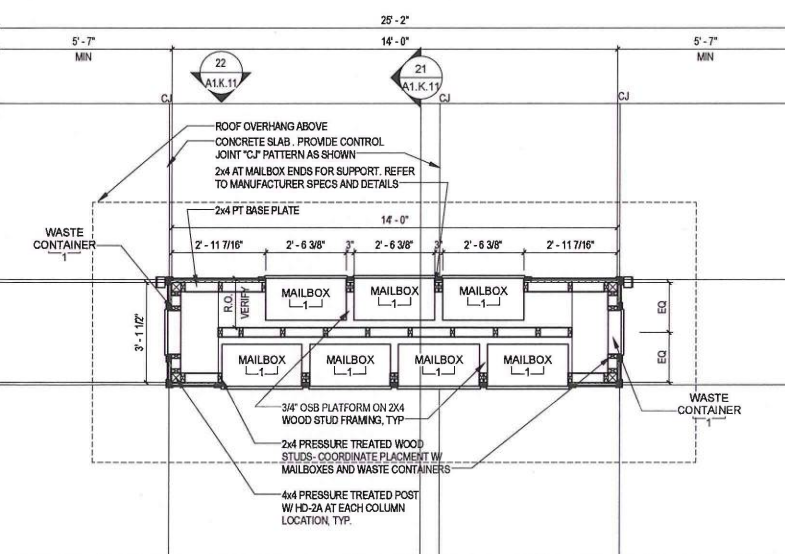


19 LEFT SIDE ELEVATION
3/8" = 1'-0"

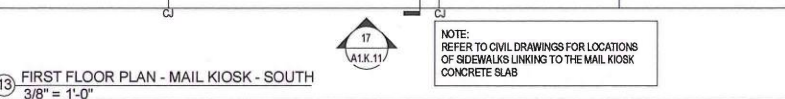
17 FRONT ELEVATION - MAIL KIOSK - NORTH
3/8" = 1'-0"



15 ROOF PLAN - MAIL KIOSK - NORTH
3/8" = 1'-0"



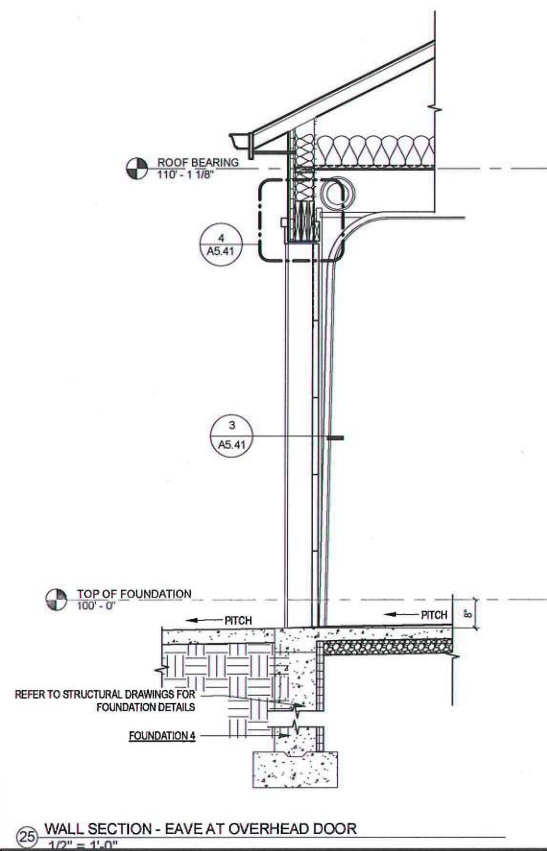
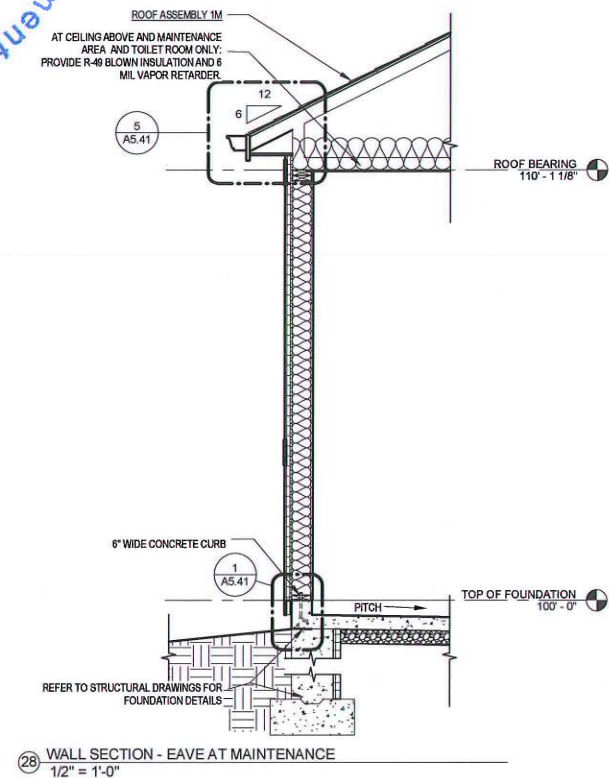
13 FIRST FLOOR PLAN - MAIL KIOSK - SOUTH
3/8" = 1'-0"



MAIL BOX CHART

# PER UNIT	MAIL BOX DOORS	OUTGOING MAIL COMPARTMENTS	PARCEL COMPARTMENTS
KIOSK 1 # OF UNITS	28	1	2
KIOSK 2 # OF UNITS	7	7	7
TOTAL (SITE)	4	4	4
	220	11	22

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ATTIC VENTILATION SCHEDULE						
Area	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. (1/300) (SQ IN)	RIDGE (50%) (SQ IN)		SOFFIT (50%) (SQ IN)	
			REQ *	ACT **	REQ *	ACT **
ATTIC AREA -1	871	418	209	12 LINEAL FT.	209	24 LINEAL FT.
ATTIC AREA -2	356	172	86	5 LINEAL FT.	86	10 LINEAL FT.

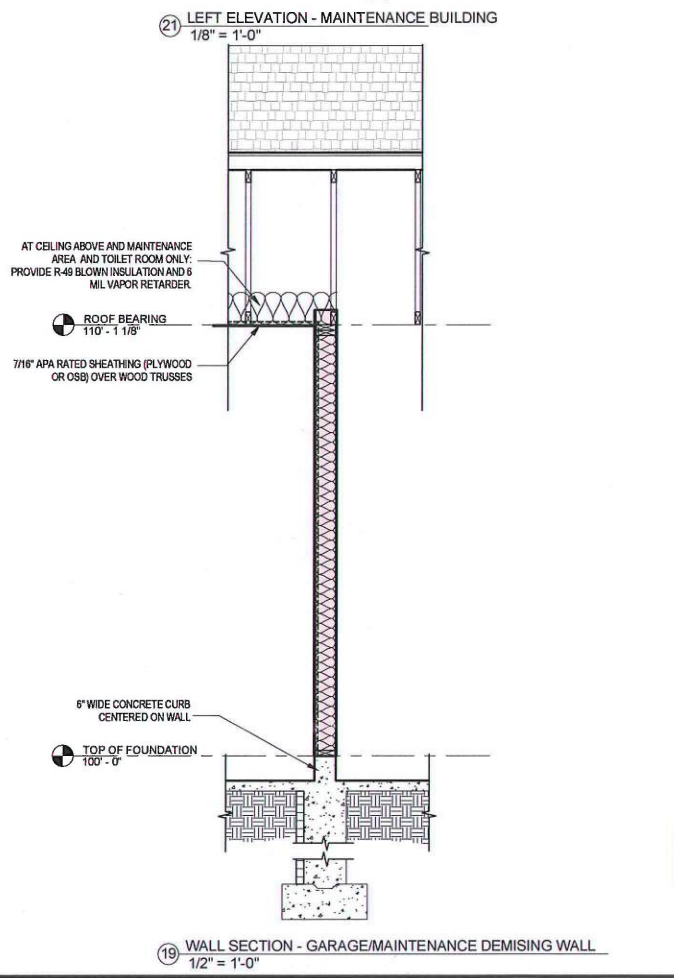
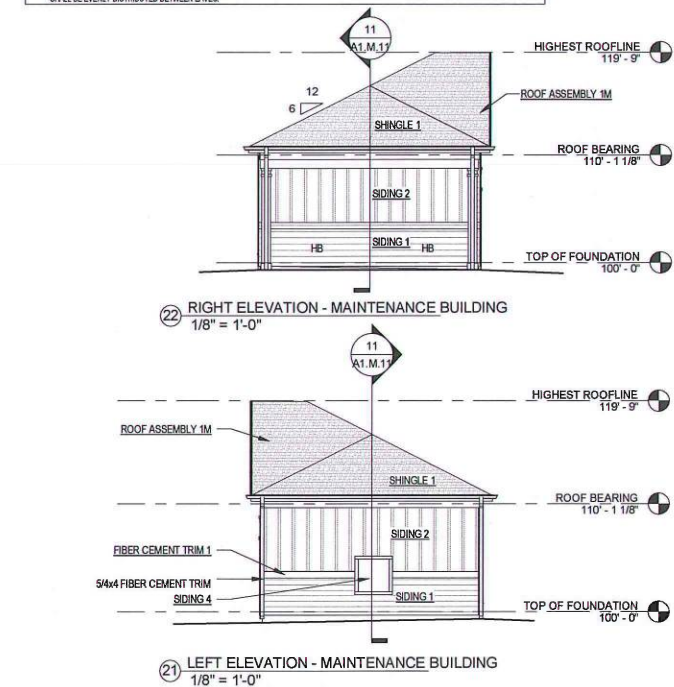
NOTE:

* REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY 1/300 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT.

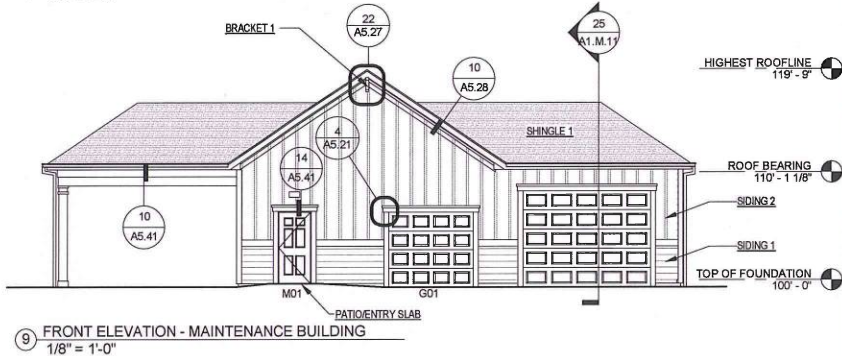
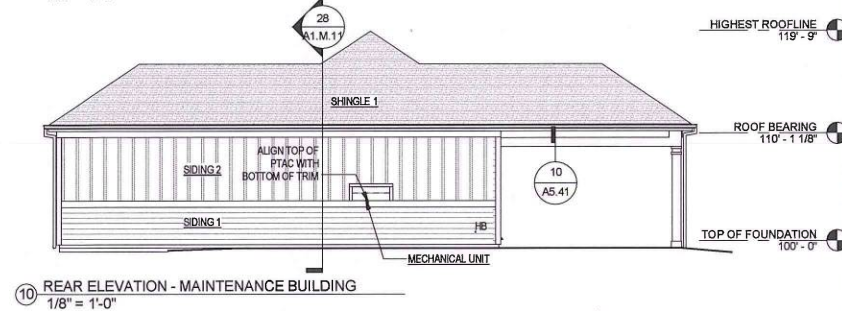
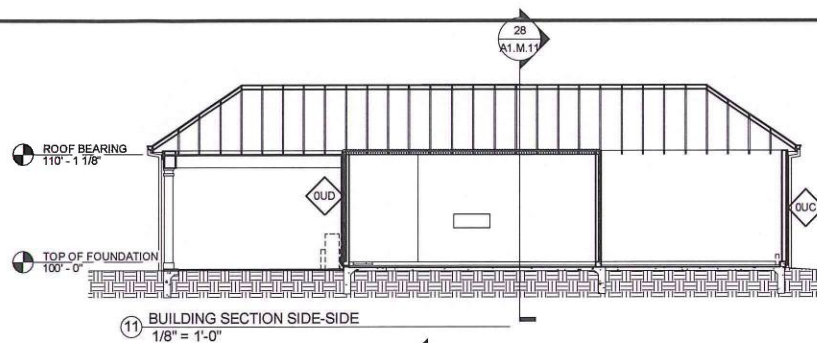
50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND 50% IS REQUIRED THE SOFFIT (LOW). WHEN NO "HIGH/LOW" VENTING IS PROVIDED, THE REQUIRED NET FREE AREA IS 1/150 OF THE ACTUAL AREA AND 100% OF THIS VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.

** ACTUAL NET FREE VENTED RIDGE (HIGH) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL RIDGE VENT (FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA = 14.5 SQ IN/FT. MIN.

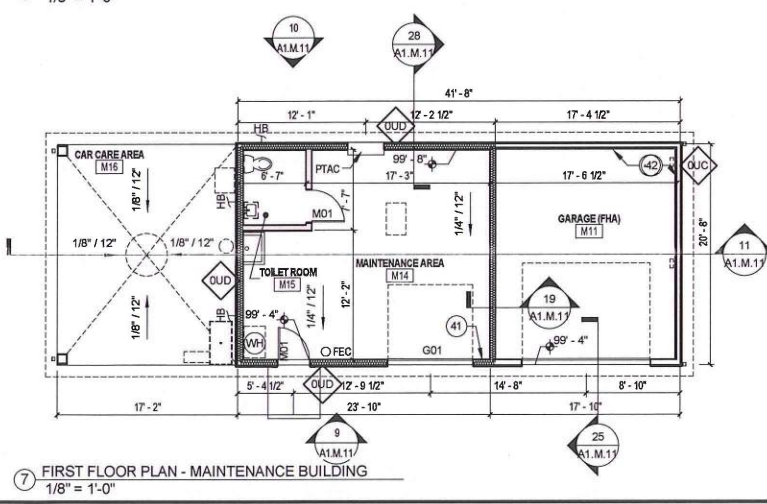
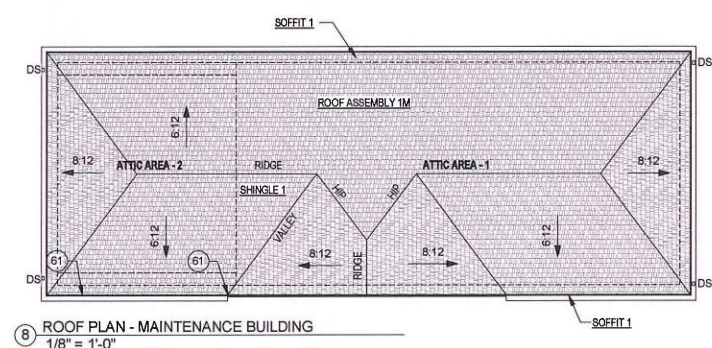
*** ACTUAL NET FREE VENTED SOFFIT (LOW) AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL LINEAL SOFFIT (CONTINUOUS) VENT (FT) BY THE MANUFACTURER'S STATED ACTUAL VENTED NET FREE AREA = 9 SQ IN/FT. MIN. THE ACTUAL SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN EAVES.



19 WALL SECTION - GARAGE/MAINTENANCE DEMISING WALL. 1/2\"/>



9 FRONT ELEVATION - MAINTENANCE BUILDING. 1/8\"/>



LEGEND	
	FIRE EXTINGUISHER & BRACKET
	DOWNSPOUT ASSEMBLY
	HOSE BIB
GENERAL NOTES	
1. PROVIDE WOOD HEADERS AT OPENINGS IN WOOD STUD WALL: UP TO 5'-0" (2) 2X8, (1) KING STUD, (1) KING STUD, 5'-4" - 8'-0" (2) 2X12, (2) BRG STUDS, (2) KING STUDS, 9'-0" - 10'-0" (2) 2X12, (2) BRG STUDS, (3) KING STUDS.	
2. FOR TYPICAL SIDING JOINT DETAILS SEE SHEET A5.21.	
3. PROVIDE FIRE EXTINGUISHER AND BRACKET IN EACH UNIT PER REQUIREMENTS OF IFC SECTION 909.	
EXTERIOR FINISH COLORS	
FASCIA PRE-FINISHED - WHITE	
GUTTERS / PRE-FINISHED - WHITE	
DOWNSPOUTS	
SHINGLE 1 HERITAGE SERIES - WEATHERED WOOD	
SIDING 1 PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"	
SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"	
SIDING 3 PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"	
TRIM PRE-FINISHED - DELICATE WHITE	
MATERIALS AND COMPONENTS	
BRACKET 1	BRACKET MODEL BKT11X28 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PRE-FINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
FOUNDATION 4	CONCRETE SLAB AND FOUNDATION SYSTEM w/ 10 MILL POLYETHYLENE AND 4" MIN COMPACTED STONE BASE. PROVIDE 3" (R-15) RIGID INSULATION WITH DRAINWAT AT INTERIOR PERIMETER, 36" DEPTH MIN. PROVIDE ARCHITECTURAL RUBBED CONCRETE FINISH FOR EXPOSED FOUNDATIONS ABOVE GRADE - REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
MECHANICAL UNIT	THRU-WALL MECHANICAL UNIT - SEE MECHANICAL DRAWINGS.
PATIOENTRY SLAB	ENTRY STOOPS AND PATIO: BROOM FINISH CONCRETE, SEALED.
ROOF ASSEMBLY 1M	30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, 15# FELT PAPER, ICE & WATER SHIELD AT EAVES, 1/2" OSB ROOF SHEATHING WITH METAL 1" CLIPS, PRE-ENGINEERED WOOD TRUSSES AT 24" O.C., PROVIDE UPLIFT-RESISTANT CONNECTORS AT EACH TRUSS, PROVIDE R-49 BLOWN INSULATION & VAPOR RETARDER ABOVE MAINTENANCE AREA AND TOILET AREA ONLY.
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD
SIDING 1	HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W 7" EXPOSURE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.
SIDING 2	HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1x2 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.
SIDING 4	HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR.
SOFFIT 1	VENTED AND NON VENTED VINYL SOFFIT PANELS, UNIVERSAL TRIPLE.
PLAN KEYED NOTES	
41 GARAGE DOOR WALL IS 2x6 WOOD STUD WALL ON 8" WIDE CONCRETE CURB.	
42 REAR AND SIDE WALLS ARE 2x4 WOOD STUD WALLS ON 6" WIDE CONCRETE CURB.	
51 PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS	

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CONTINENTAL PROPERTIES
CONTINENTAL 326 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
262.502.5500 • FAX 262.502.5522

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Print Name: **JAMES RASOKE**
Signature: **James Rasoke**
Date: **3/13/15** License #: **42070**

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

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ROCHESTER, MN 55904

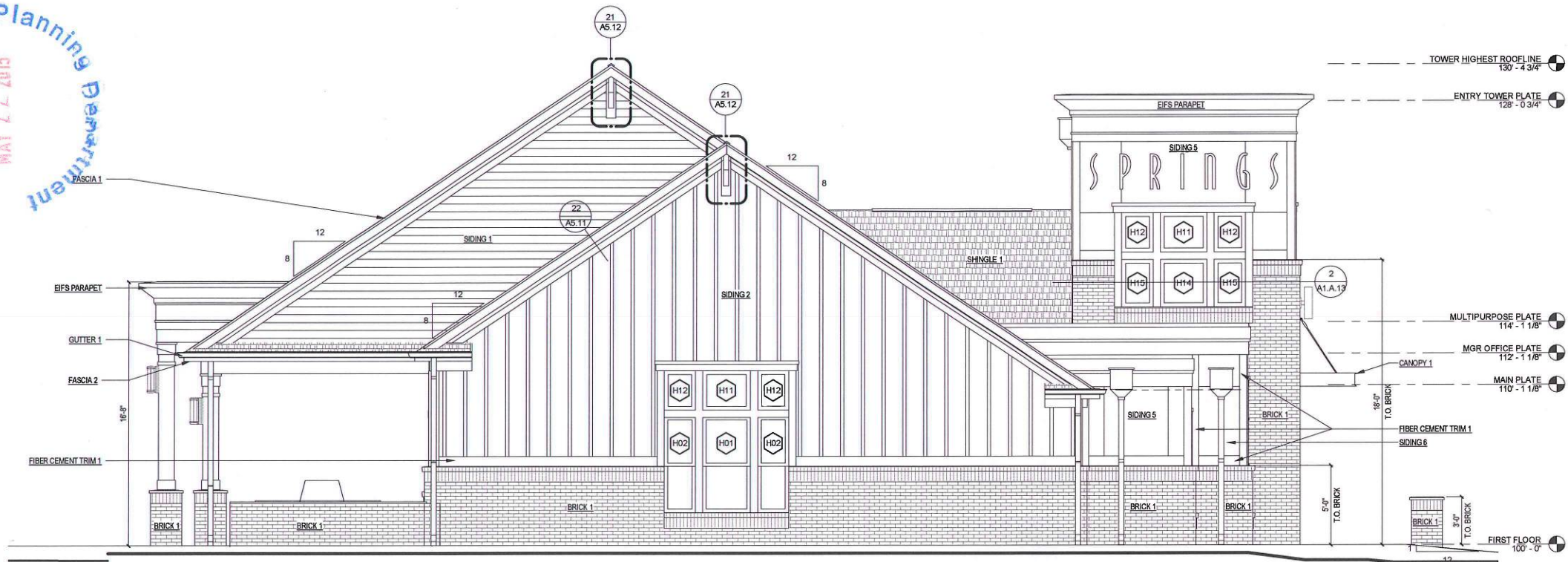
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MAINTENANCE BUILDING PLANS AND ELEVATIONS

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2 RIGHT ELEVATION - CLUBHOUSE
1/4" = 1'-0"

LEGEND

XX WINDOW TYPE - SEE SHEET A6.02

GENERAL NOTES

- PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
- PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
- MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
- PROVIDE FIBER CEMENT PADS BEHIND ALL BRACKETS, ELECTRICAL DEVICES, FIXTURES, ETC. PAINT, TYP.

MATERIALS AND COMPONENTS

BRICK 1	STANDARD BRICK UNITS, RUNNING BOND, METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENEER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY, REFER TO EXTERIOR FINISH COLORS
CANOPY 1	PAINTED STEEL FRAME CANOPY WITH ROD AND TURNBUCKLE SUPPORT. SEE DETAIL.
EIFS PARAPET	SEE DETAIL.
FASCIA 1	44 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FASCIA 2	5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIMPAINTS COLOR - REFER TO EXTERIOR FINISH COLORS
GUTTER 1	PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" X 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS
ROWLOCK SILL 1	STANDARD BRICK UNITS CUT TO FIT, ROWLOCK SILL - REFER TO EXTERIOR FINISH COLORS
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD
SIDING 1	HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8-25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 2	HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1/2 BATTEN BOARDS AT 16" OC VERTICAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 5	HARDIE PANEL FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 6	HARDIE PANEL FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES

EXTERIOR FINISH COLORS

BRICK 1	GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED
DOORS - TYPICAL	PRE-FINISHED TO MATCH ARCTIC WHITE
EXTERIOR CEILINGS	PRE-FINISHED TO MATCH ARCTIC WHITE
FASCIA	PRE-FINISHED TO MATCH ARCTIC WHITE
FIBER CEMENT TRIM 1	PRE-FINISHED TO MATCH ARCTIC WHITE
GUTTERS/DOWNSPOUTS	PRE-FINISHED TO MATCH ARCTIC WHITE
SHINGLE 1	TAMKO "WEATHERED WOOD"
SIDING 1	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SIDING 2	PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"
SIDING 5	PRE-FINISHED - SAIL CLOTH or PPG PAINT #31
SIDING 6	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SOFFIT PANELS	PRE-FINISHED TO MATCH DELICATE WHITE
WINDOWS	PRE-FINISHED TO MATCH ARCTIC WHITE

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CONTINENTAL PROPERTIES
CONTINENTAL 326 FUND LLC
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MENOMONEE FALLS, WI 53051
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Print Name: **JAMES PASOKE**
Signature: *James Pasoke*
Date: **3/13/15** License #: **42070**

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

580 28TH STREET SE
ROCHESTER, MN 55904

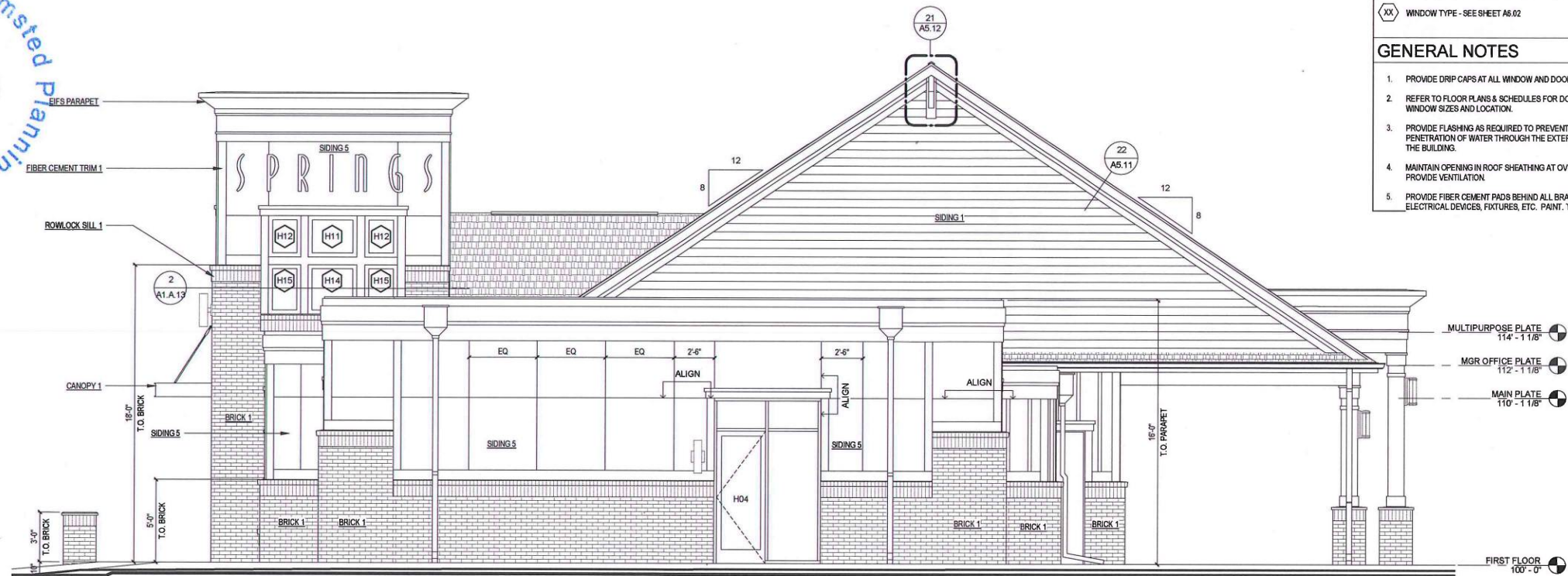
Project No.
215004.01

EXTERIOR ELEVATIONS - CLUBHOUSE

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2 LEFT ELEVATION - CLUBHOUSE
1/4" = 1'-0"

LEGEND

XX WINDOW TYPE - SEE SHEET A6.02

GENERAL NOTES

1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
5. PROVIDE FIBER CEMENT PADS BEHIND ALL BRACKETS, ELECTRICAL DEVICES, FIXTURES, ETC. PAINT, TYP.

MATERIALS AND COMPONENTS

BRICK 1	STANDARD BRICK UNITS, RUNNING BOND, METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENEER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY, REFER TO EXTERIOR FINISH COLORS
CANOPY 1	PAINTED STEEL FRAME CANOPY WITH ROD AND TURNBUCKLE SUPPORT. SEE DETAIL.
EIFS PARAPET	SEE DETAIL
FASCIA 1	44 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FASCIA 2	5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIMRAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
GUTTER 1	PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" X 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DIVERSERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
ROWLOCK SILL 1	STANDARD BRICK UNITS CUT TO FIT, ROWLOCK SILL - REFER TO EXTERIOR FINISH COLORS
SHINGLE 1	TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD
SIDING 1	HARDIE PLANK SELECT CEDARMILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 2	HARDIE PANEL CEDARMILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1x3 BATTEN BOARDS AT 16" OC VERTICAL. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 5	HARDIE PANEL FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES

EXTERIOR FINISH COLORS

BRICK 1	GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED
DOORS - TYPICAL	PRE-FINISHED TO MATCH ARCTIC WHITE
EXTERIOR CEILINGS	PRE-FINISHED TO MATCH ARCTIC WHITE
FASCIA	PRE-FINISHED TO MATCH ARCTIC WHITE
FIBER CEMENT TRIM 1	PRE-FINISHED TO MATCH ARCTIC WHITE
GUTTERS/DOWNSPOUTS	PRE-FINISHED TO MATCH ARCTIC WHITE
SHINGLE 1	TAMKO "WEATHERED WOOD"
SIDING 1	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SIDING 2	PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"
SIDING 5	PRE-FINISHED - SAIL CLOTH or PPG PAINT #31
SIDING 6	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SOFFIT PANELS	PRE-FINISHED TO MATCH DELICATE WHITE
WINDOWS	PRE-FINISHED TO MATCH ARCTIC WHITE

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota
Print Name: **JAMES RASOHE**
Signature: *[Signature]*
Date: **3/13/15** License #: **42070**

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

580 28TH STREET SE
ROCHESTER, MN 55904

Project No.
215004.01

Sheet Title
EXTERIOR ELEVATIONS - CLUBHOUSE

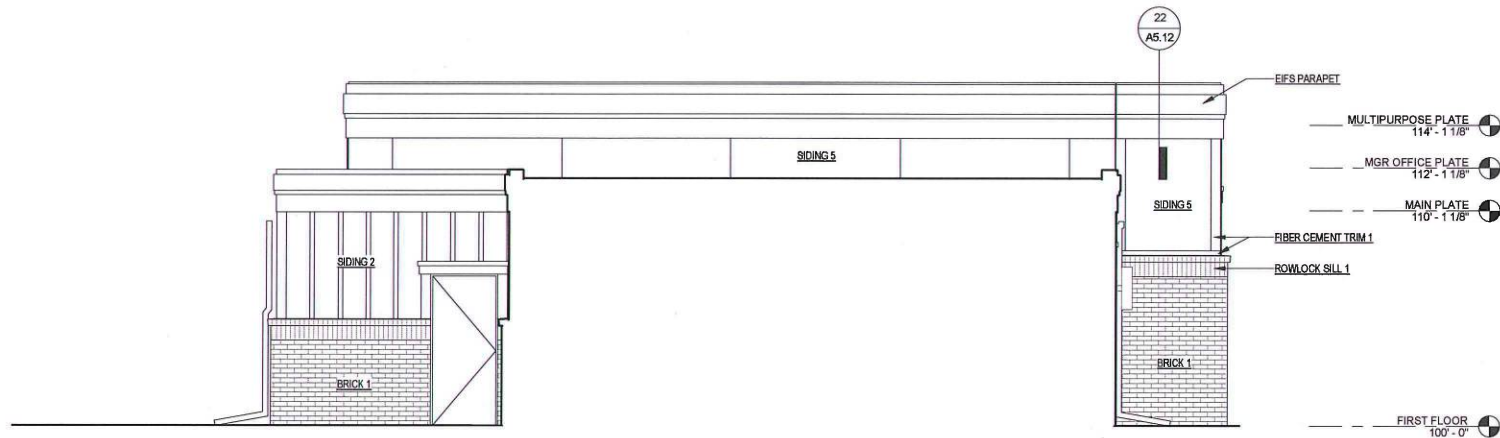
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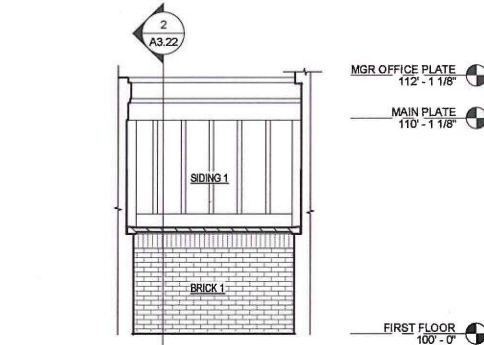


1 REAR ELEVATION - CLUBHOUSE
1/4" = 1'-0"

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RECEIVED
MAY 22 2015



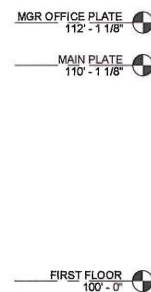
27 HIDDEN RIGHT ELEVATION- CLUBHOUSE
1/4" = 1'-0"



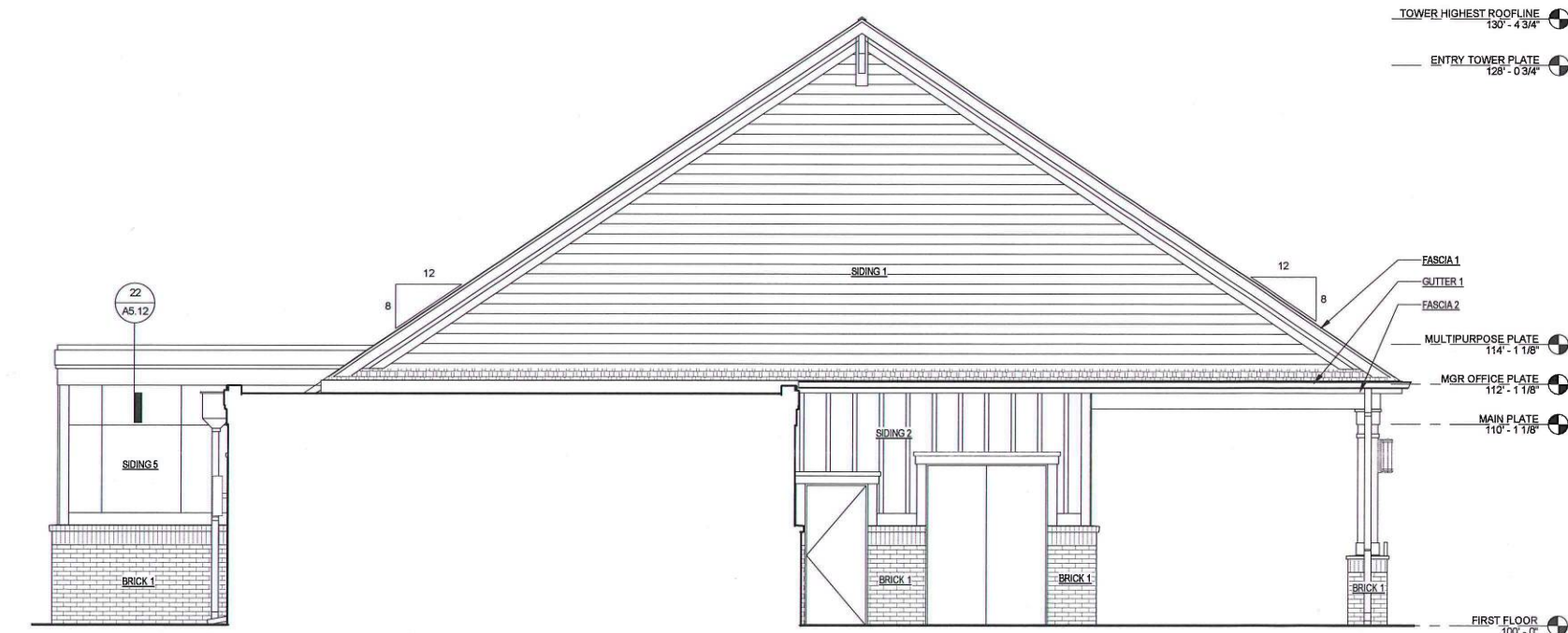
9 HIDDEN REAR ELEVATION- CLUBHOUSE
1/4" = 1'-0"

TOWER HIGHEST ROOFLINE
130' - 4 3/4"

ENTRY TOWER PLATE
128' - 0 3/4"



8 HIDDEN LEFT ELEVATION 1- CLUBHOUSE
1/4" = 1'-0"



25 HIDDEN LEFT ELEVATION- CLUBHOUSE
1/4" = 1'-0"

LEGEND

XX WINDOW TYPE - SEE SHEET A6.02

GENERAL NOTES

1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
5. PROVIDE FIBER CEMENT PADS BEHIND ALL BRACKETS, ELECTRICAL DEVICES, FIXTURES, ETC. PAINT, TYP.

MATERIALS AND COMPONENTS

BRICK 1	STANDARD BRICK UNITS, RUNNING BOND, METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENEER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY, REFER TO EXTERIOR FINISH COLORS
COLLECTOR BOX 1	COLLECTOR BOX WITH DOWNSPOUT
EIFS PARAPET	SEE DETAIL
FASCIA 1	44 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FASCIA 2	5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS
FIBER CEMENT TRIM 1	HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS
GUTTER 1	PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" X 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
H-LOW FLASHING	SEE DETAIL
ROWLOCK SILL 1	STANDARD BRICK UNITS CUT TO FIT, ROWLOCK SILL - REFER TO EXTERIOR FINISH COLORS
SCUPPER 1	WELDED ROOF SCUPPER
SIDING 1	HARDIE PLANK SELECT CEDAR MILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 2	HARDIE PANEL CEDAR MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1/2 BATTEN BOARDS AT 16" OC VERTICAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES
SIDING 5	HARDIE PANEL FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES

EXTERIOR FINISH COLORS

BRICK 1	GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED
DOORS - TYPICAL	PRE-FINISHED TO MATCH ARCTIC WHITE
EXTERIOR CEILINGS	PRE-FINISHED TO MATCH ARCTIC WHITE
FASCIA	PRE-FINISHED TO MATCH ARCTIC WHITE
FIBER CEMENT TRIM 1	PRE-FINISHED TO MATCH ARCTIC WHITE
GUTTERS/DOWNSPOUTS	PRE-FINISHED TO MATCH ARCTIC WHITE
SHINGLE 1	TAMKO "WHEATHERED WOOD"
SIDING 1	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SIDING 2	PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM"
SIDING 5	PRE-FINISHED - SAIL CLOTH or PPG PAINT #31
SIDING 8	PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR"
SOFFIT PANELS	PRE-FINISHED TO MATCH DELICATE WHITE
WINDOWS	PRE-FINISHED TO MATCH ARCTIC WHITE

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: **JAMES PASCHKE**
Signature: *James Paschke*
Date: **3/13/15** License #: **42070**

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

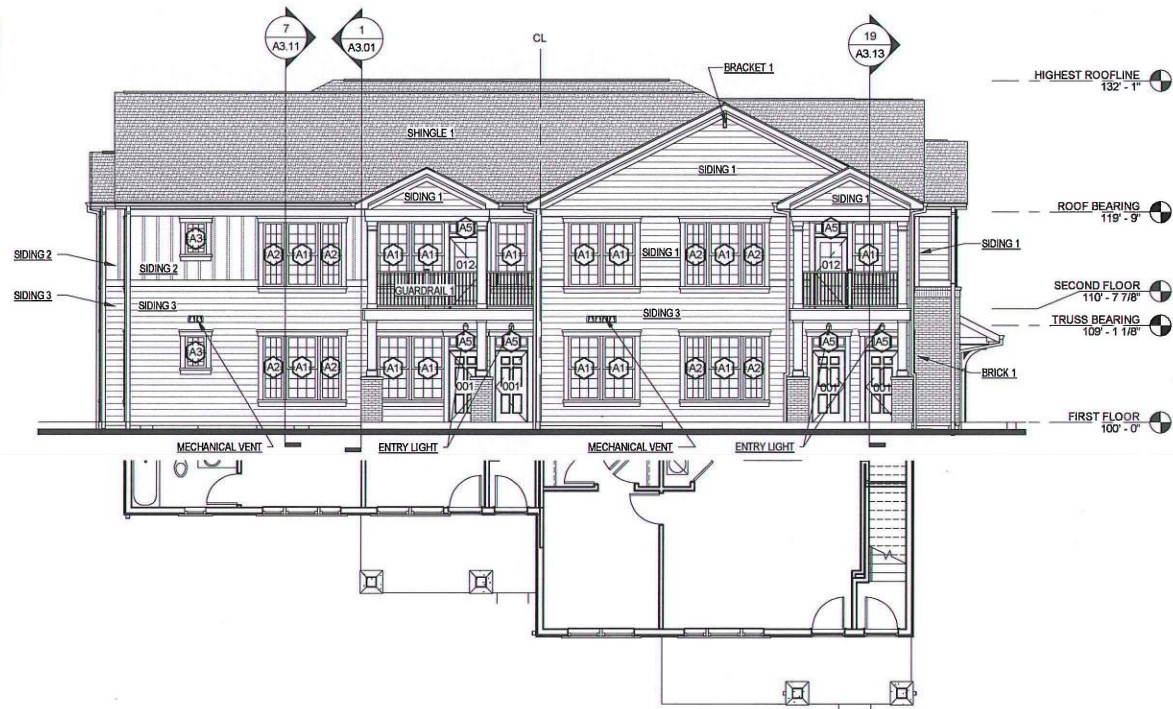
SPRINGS AT SOUTH BROADWAY

580 28TH STREET SE
ROCHESTER, MN 55904

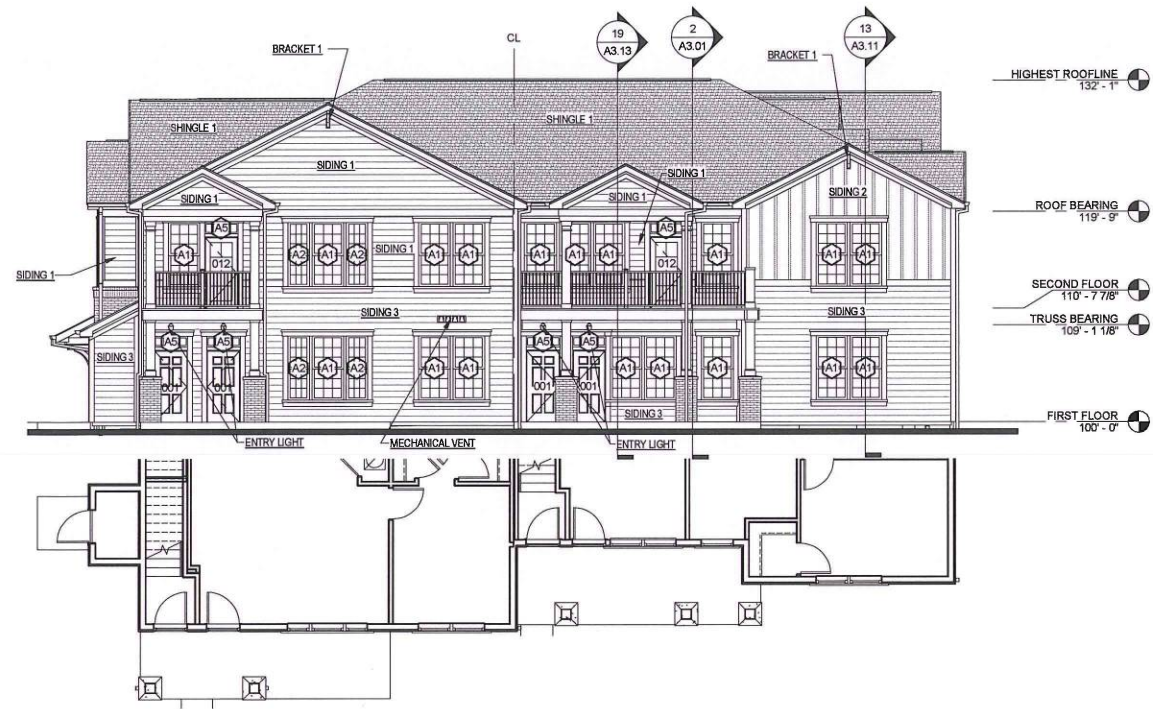
Project No.
215004.01

EXTERIOR PARTIAL ELEVATIONS - CLUBHOUSE

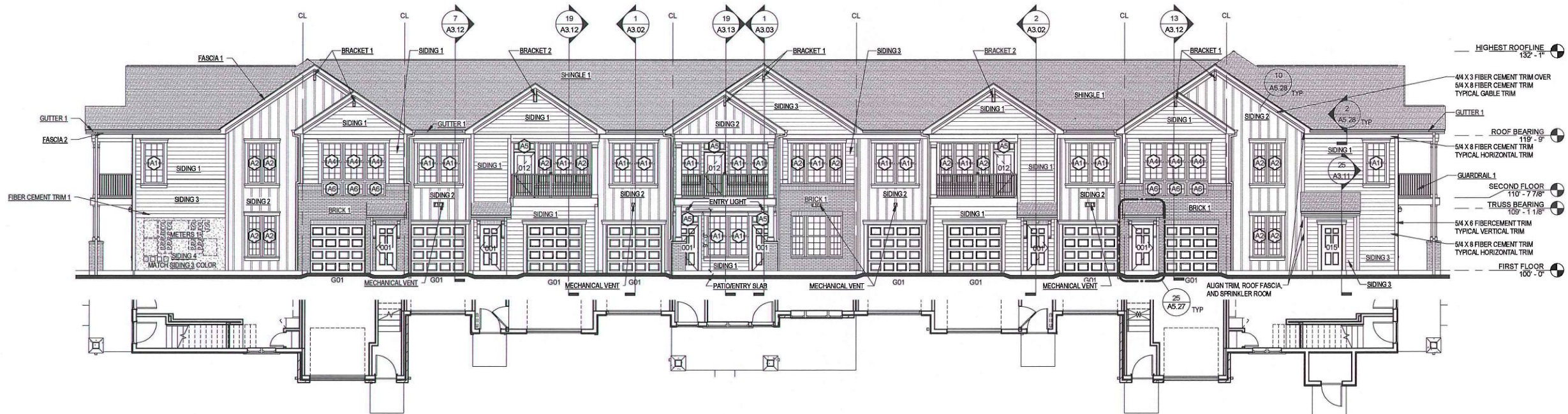
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Telephone 608.283.6300 Fax 608.283.6317
Sheet No.
A2.A.3



3 LEFT ELEVATION - BUILDING TYPE B20
1/8" = 1'-0"



2 RIGHT ELEVATION - BUILDING TYPE B20
1/8" = 1'-0"



1 FRONT ELEVATION - BUILDING TYPE B20
1/8" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: JAMES RASOKE
Signature: [Signature]
Date: 3/13/15 License #: 42070

Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

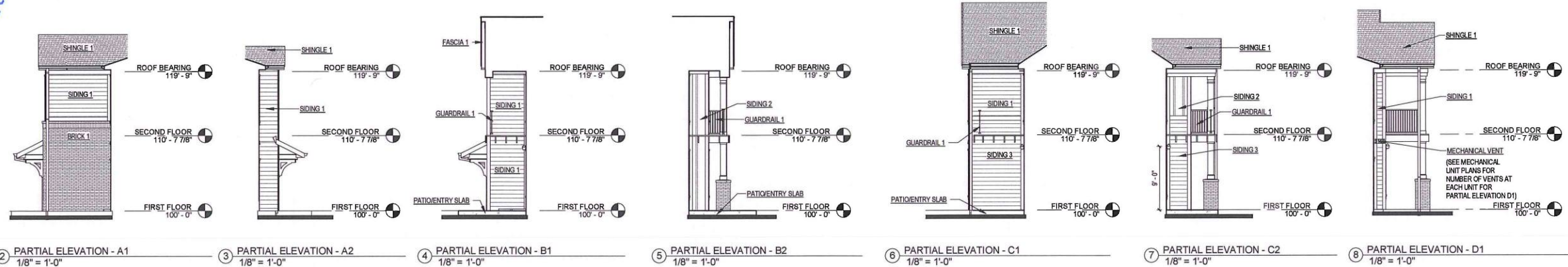
310 - 680 28TH STREET SE
Rochester, MN 55904

Project No.
215004.01

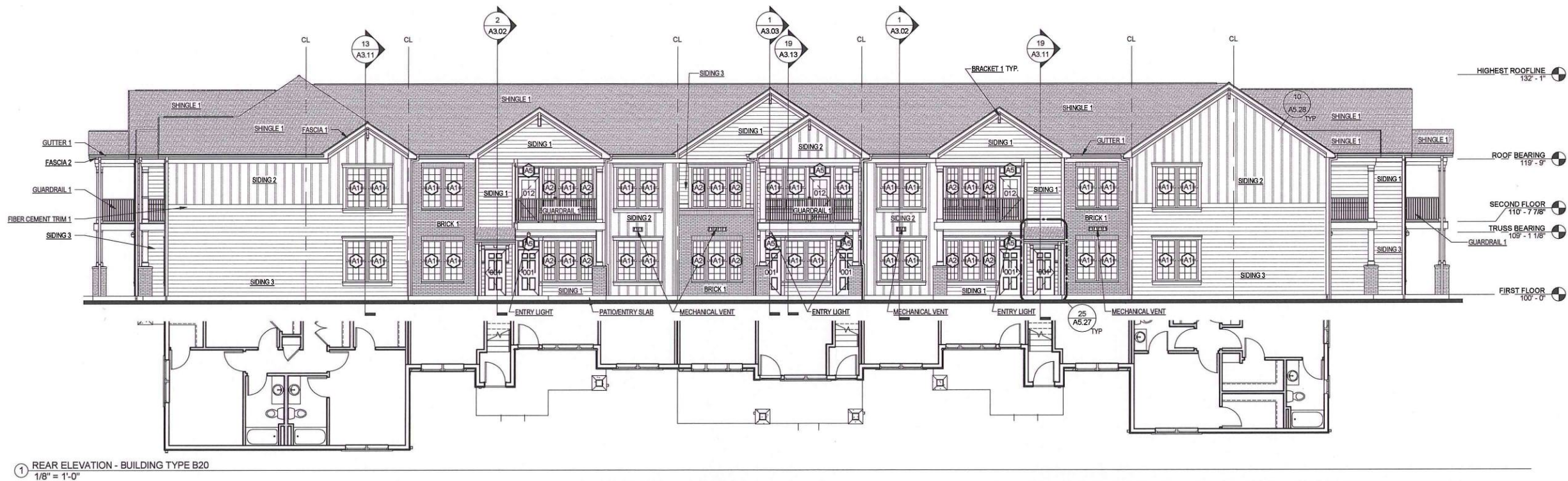
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EXTERIOR ELEVATIONS - BUILDING TYPE B20

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Telephone 608.283.6300 Fax 608.283.6317
Sheet No.
A2.B.1

GENERAL NOTES	KEYED NOTES	MATERIALS AND COMPONENTS	MATERIALS AND COMPONENTS	KEY PLAN
<ol style="list-style-type: none">PROVIDE PREFINISHED METAL DRIP CAPS AT ALL WINDOW AND DOOR HEADS.REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.		<p>BRACKET 1 BRACKET MODEL BKT11X20 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS.</p> <p>BRACKET 2 PYFON DECORATIVE BRACKET-BRACKET MODEL BKT5X20, OR ARCHITECT APPROVED EQUAL COLOR: REFER TO EXTERIOR FINISH COLORS.</p> <p>BRICK 1 STANDARD BRICK UNITS, RUNNING BOND, METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENEER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY, REFER TO EXTERIOR FINISH COLORS.</p> <p>ENTRY LIGHT LIGHT FIXTURE AS SELECTED BY OWNER, MOUNTED PER DETAILS ON A5.24/25, CENTERED ON DOOR WITH THE MIDPOINT OF THE FIXTURE @ 7'-8" AFF AT ENTRY SHED ROOF LOCATIONS & 9'-0" AFF AT TRANSOM LOCATIONS.</p> <p>FASCIA 1 4/4 X 2 FIBER CEMENT SHADOW BOARD OVER 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.</p> <p>FASCIA 2 5/4 X 8 PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.</p> <p>FIBER CEMENT TRIM 1 HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS.</p> <p>GUARDRAIL 1 PREFINISHED 40" HIGH VINYL COATED METAL BALCONY RAILING ASSEMBLY WITH 2x3" TOP RAIL, 2x2" BOTTOM RAIL, 3/4" VINYL COATED SQUARE PICKETS, AND 4"x4" CENTER POST. INSTALL SO THAT CENTER OF TOP RAIL IS AT 42" ABOVE FINISHED BALCONY FLOOR, 4" DIA. SPHERE SHALL NOT PASS THRU SPACE BETWEEN PICKETS OR BOTTOM OF RAIL.</p> <p>GUTTER 1 PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" X 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DOWNSPUTS AND SPLASH GUARDS AT CORNERS AND VALLEYS.</p> <p>MECHANICAL VENT THRU-WALL MECHANICAL VENT-SEE MECHANICAL DRAWINGS.</p> <p>METERS 1 ELECTRIC METER BANK.</p> <p>PATIO/ENTRY SLAB ENTRY STOOPS AND PATIO: BROOM FINISH CONCRETE, SEALED.</p> <p>SHINGLE 1 TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD.</p> <p>SIDING 1 HARDIE PLANK SELECT CEDARMILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.</p>	<p>SIDING 2 HARDIE PANEL CEDARMILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1x3 BATTEN BOARDS AT 16" O.C. VERTICAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.</p> <p>SIDING 3 HARDIE PLANK SELECT CEDARMILL FIBER CEMENT LAP SIDING - 8.25" W/ 7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.</p> <p>SIDING 4 HARDIE PANEL STUCCO FIBER CEMENT BOARD SIDING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - MATCH ADJACENT COLOR.</p> <p>BRICK 1 GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED.</p> <p>DOORS - TYPICAL PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>DOORS - UNIT ENTRY PPG #534-7 "BURGUNDY WINE".</p> <p>EXTERIOR CEILINGS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>FASCIA PRE-FINISHED - DELICATE WHITE.</p> <p>FIBER CEMENT TRIM 1 PRE-FINISHED - DELICATE WHITE.</p> <p>GARAGE DOORS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>GUTTERS/DOWNSPOUTS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>RAILINGS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>SHINGLE 1 TAMKO "WEATHERED WOOD".</p> <p>SHUTTER 1 PPG #534-7 "BURGUNDY WINE".</p> <p>SIDING 1 PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR".</p> <p>SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM".</p> <p>SIDING 3 PRE-FINISHED - KHAKI BROWN or PPG PAINT #415-5 "WIND MILL".</p> <p>SOFFIT PANELS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>WINDOWS PRE-FINISHED - WHITE.</p>	



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: **JAMES RASCHKE**
Signature: *[Signature]*
Date: **3/13/15** License #: **42070**



Revisions

CONSTRUCTION DOCUMENTS

Drawing Date
MARCH 13, 2015

SPRINGS AT SOUTH BROADWAY

310 - 680 28TH STREET SE
Rochester, MN 55904

Project No.
215004.01

Sheet Title
EXTERIOR ELEVATIONS - BUILDING TYPE B20

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Sheet No.
A2.B.2

GENERAL NOTES	KEYED NOTES	MATERIALS AND COMPONENTS	MATERIALS AND COMPONENTS	KEY PLAN
<p>1. PROVIDE PREFINISHED METAL DRIP CAPS AT ALL WINDOW AND DOOR HEADS.</p> <p>2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.</p> <p>3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.</p> <p>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.</p> <p>5. SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.</p>		<p>BRACKET 1 BRACKET MODEL BKT11X20 OR ARCHITECT APPROVED EQUAL. COLOR: REFER TO EXTERIOR FINISH COLORS.</p> <p>BRICK 1 STANDARD BRICK UNITS, RUNNING BOND, METAL 2-PIECE SURFACE MOUNTED PRONGED POSITIVE CONTACT VENER TIES @ 16" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. REFER TO EXTERIOR FINISH COLORS.</p> <p>ENTRY LIGHT LIGHT FIXTURE AS SELECTED BY OWNER, MOUNTED PER DETAILS ON A5.24/25, CENTERED ON DOOR WITH THE MIDPOINT OF THE FIXTURE @ 7'-8" AFF AT ENTRY SHED ROOF LOCATIONS & 9'-0" AFF AT TRANSOM LOCATIONS.</p> <p>FASCIA 1 4 1/2" X 2" FIBER CEMENT SHADOW BOARD OVER 5/4" X 8" PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.</p> <p>FASCIA 2 5/4" X 8" PAINTED FIBER CEMENT TRIM BOARD FASCIA - REFER TO EXTERIOR FINISH COLORS.</p> <p>FIBER CEMENT TRIM 1 HARDIE TRIM RUSTIC GRAIN SE BOARDS - INSTALLED AT FIREZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS W/ PREFINISHED METAL FLASHING WHERE REQUIRED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TRIM/RAILINGS COLOR - REFER TO EXTERIOR FINISH COLORS.</p> <p>GUARDRAIL 1 PREFINISHED 40" HIGH VINYL COATED METAL BALCONY RAILING ASSEMBLY WITH 2"x3" TOP RAIL, 2"x2" BOTTOM RAIL, 3/4" VINYL COATED SQUARE PICKETS, AND 4"x4" CENTER POST. INSTALL SO THAT CENTER OF TOP RAIL IS AT 42" ABOVE FINISHED BALCONY FLOOR. 4" DIA. SPHERE SHALL NOT PASS THRU SPACE BETWEEN PICKETS OR BOTTOM OF RAIL.</p> <p>GUTTER 1 PREFINISHED 6" ALUMINUM METAL GUTTER STYLE: K & 3" X 4" DOWNSPOUT ASSEMBLY, COLOR AS SELECTED BY OWNER. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.</p> <p>MECHANICAL VENT THRU-WALL MECHANICAL UNIT - SEE MECHANICAL DRAWINGS.</p> <p>PATIO/ENTRY SLAB ENTRY STOOPS AND PATIO: BROOM FINISH CONCRETE, SEALED.</p> <p>SHINGLE 1 TAMKO, 30 YEAR/40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES, STYLE: HERITAGE SERIES, COLOR: WEATHERED WOOD.</p>	<p>SIDING 1 HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.</p> <p>SIDING 2 HARDIE PANEL CEDAR/MILL FIBER CEMENT VERTICAL SIDING W/ HARDIE TRIM 1x3 BATTEN BOARDS AT 16" OC VERTICAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.</p> <p>SIDING 3 HARDIE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP SIDING - 8.25" W/7" EXPOSURE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR - REFER TO COLOR SCHEMES.</p> <p>BRICK 1 GLEN GERY BRICK, SERIES: TRADITIONS, COLOR: WINDSOR, STYLE: TUMBLED.</p> <p>DOORS - TYPICAL PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>DOORS - UNIT ENTRY PPG #534-7 "BURGUNDY WINE".</p> <p>EXTERIOR CEILING PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>FASCIA PRE-FINISHED - DELICATE WHITE.</p> <p>FIBER CEMENT TRIM 1 PRE-FINISHED - DELICATE WHITE.</p> <p>GARAGE DOORS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>GUTTERS/DOWNSPOUTS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>RAILINGS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>SHINGLE 1 TAMKO "WEATHERED WOOD".</p> <p>SHUTTER 1 PPG #534-7 "BURGUNDY WINE".</p> <p>SIDING 1 PRE-FINISHED - AUTUMN TAN or PPG PAINT #314-4 "SPICED VINEGAR".</p> <p>SIDING 2 PRE-FINISHED - SAIL CLOTH or PPG PAINT #314-2 "HEAVY CREAM".</p> <p>SIDING 3 PRE-FINISHED - KHAKI BROWN or PPG PAINT #415-5 "WIND MILL".</p> <p>SOFFIT PANELS PRE-FINISHED TO MATCH DELICATE WHITE.</p> <p>WINDOWS PRE-FINISHED - WHITE.</p>	